10

Planning Commission
Study Session

TO: **PLANNING COMMISSION**

FROM: **NATHAN WILLIAMS, AICP, SENIOR PLANNER**
(480) 503-6805, NATHAN.WILLIAMS@GILBERTAZ.GOV

THROUGH: **AMY TEMES, INTERIM PRINCIPAL PLANNER**
(480) 503-6729, AMY.TEMES@GILBERTAZ.GOV

MEETING DATE: **DECEMBER 5, 2018**

SUBJECT: **ST18-11: HAMSTRA DAIRY: REQUEST FOR FOUR (4) NEW STANDARD PLANS (50 SERIES) BY MARACAY HOMES.**

STRATEGIC INITIATIVE: Community Livability

Encourage quality residential developments that provide a diversity of housing types, styles, densities and prices for all income levels. The new community will provide additional housing opportunities for Gilbert residents.

REQUEST

ST18-11, Hamstra Dairy: Four (4) new Standard Plans (50-1, 50-2, 50-3 and 50-4) by Maracay Homes, for 58 lots within the Phase 1 development of the Hamstra Dairy PAD, generally located at the northwest corner of Val Vista Drive and Chandler Heights Road and zoned Single Family 7 (SF-7) with a Planned Area Development (PAD) overlay.

RECOMMENDED MOTION

Request for input only. No motion required.

APPLICANT/OWNER

Company: Maracay Homes
Name: Rashel Beaver
Address: 15279 N. Scottsdale Rd. Suite #300
Scottsdale, AZ 85254

Phone: 480-346-5216
Email: rashel.beaver@maracayhomes.com

BACKGROUND/DISCUSSION

History

Date	Description
April 19, 2019	The Town Council approved annexation (A17-1003), annexing the subject site into the Town of Gilbert.
May 2, 2018	The Planning Commission approved S17-1011, the Preliminary Plat and Open Space Plan for Hamstra Dairy, for 332 single family detached residential home lots on the 160 acre subject site.
May 3, 2018	The Town Council approved Z17-1022 (Ordinance No. for Hamstra Dairy rezoning the site to Single Family - 7 (SF-7), Single Family - 8 (SF-8) and Single Family - 10 (SF-10) with a PAD overlay.

Overview

Maracay Homes is proposing four (4) new standard plans for approximately 58 residential lots in the Single Family - 7 (SF-7) zoning district specifically for the Phase 1 portion of the overall Hamstra Dairy master planned community. The Hamstra Dairy master planned community consists of 332 residential lots amongst the three (3) zoning districts SF-7 (51.36 acres, 125 total lots), SF-8 (35.62 acres, 79 total lots) and SF-10 (73.48 acres, 128 total lots). The site is located at the northwest corner of Val Vista Drive and Chandler Heights Road, within the Santan Character Area.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Residential > 2-3.5 DU/AC	Single Family - 35 (SF-35)	Brooks Farm Road alignment then Undeveloped Residential Parcel
South	City of Chandler – Residential Uses	City of Chandler – Residential Zoned Lots	Chandler Heights Road then Undeveloped and existing Residential Lots
East	Residential > 2-3.5 DU/AC	Maricopa County Rural – 43 Town of Gilbert Single Family - 15 (SF-15) and Town of Gilbert Community Commercial	Val Vista Drive then Existing Residential Lots Undeveloped SF-15 Residential and Undeveloped Commercial
West	City of Chandler – Community Park	City of Chandler Community Park – Veterans Oasis Park	148th Street alignment and then City of Chandler –Veterans Oasis Park
Site	Residential > 2-3.5 DU/AC	Single Family - 7 (SF-7) PAD	Hamsta Dairy Undeveloped Residential Parcels

Project Data Table

Site Development Regulations	**Hamstra Dairy - Ord. No. 2660 (SF-7 PAD)**
Minimum Lot Area (sq. ft. per DU)	7,000
Minimum Lot Dimensions (width x depth)	65'x 130' – (typical)
Maximum Building Height (ft.) (Stories)	30'/ 2-story
Setbacks: Front Yard Side Yard Rear Yard	 20' 7'/ 8' 20'
Lot Coverage (% of net lot area)	45% single-story 40% two-story

DISCUSSION

The applicant has proposed four (4) new standard plans under ST18-11, of the four (4) standard plans are two (2) single-story homes; plans 50-1 (2,644 sq. ft.) and 50-2 (3,073 sq. ft.) and there are also two (2) 2-story standard plans homes; plans 50-3 (3,947 sq. ft.) and 50-4 (4,634 sq. ft.) on typical lots of 65'x 130' (8,450 sq. ft.). The architectural themes proposed include the following: Modern Hacienda, Modern Farmhouse and Modern Desert.

Plan Information

Plan Number	**Livable Square Footage**	**Maximum Product (W x D)**	**Product Height**
50-1	2,644	50' x 79'-6"	1-story
50-2	3,073	50' x 84'-8"	1-story
50-3	3,947	49' x 73'	2-story
50-4	4,634	50' x 83'	2-story

Elevations and Materials:

Staff feels that a number of the building elevations and architectural themes provide for adequate articulation with well-designed architectural elements and characteristics of the various design themes. However, staff has identified some elements that could be incorporated into the elevations and are a part of staff's first review comments to the applicant for ST18-11:

- Side Elevations - provide for more of a window hierarchy and better articulation to remove the windows lintels over smaller windows such as in bathrooms/ closets etc.

- Rear Elevations - staff finds that the rear elevations need additional articulation to coordinate better with the front elevations. This can be done in a number of ways such as: utilizing the same architecturally themed windows of the front elevation; window treatments such as shutters that are on the front and bring them to the rear elevations. Also, by bringing brick veneer, stone veneer elements / features, hardie board panel elements, board and batten siding; adding these elements to the rear patios, patio columns or other natural building massing elements would help articulate the rear elevations. By taking at least 1 architectural feature such as those listed above, based on

each architectural theme (Modern Hacienda, Farmhouse and Desert) and utilizing/ integrating these into the rear elevations, the rear massing, and especially the rear massing visible above walls or adjacent to streets and opens space, will enhance the overall residential environment.

MODERN HACIENDA – To achieve a modern southwestern design, simple building shapes and architecturally appropriate details were used, such as an array of gable, hip, and parapet roofs, recessed windows and headers, brightly colored shutters, and complementary veneer.

MODERN FARMHOUSE – Includes elements from the traditional Farmhouse fused with a modern styling. The use of vertical lines can be found around the home. Veneer, board and batten siding carry the Farmhouse theme of the home. The gable roofs have a higher than typical pitch.

MODERN DESERT – The applicant has noted the utilization of Wrightian style, its low hip roofs and expansive eaves are unique within the lineup, but blend quite well with the desert landscape. Horizontal details include v-groove siding on the smaller series and stone veneer on the larger. Unique window locations and flat roof tiles keep the design feeling modern.

MODERN HACIENDA	MODERN FARMHOUSE	MODERN DESERT
S-Roof Tile	Flat Roof Tile	Flat Roof Tile
Shutters	Shutters	Stucco pop-outs around windows
Veneer Façade	Board & Batten Siding and/or Veneer Façade	V-Groove Panel Siding or Veneer Façade
Gable, Hip & Parapet Roofs	Gable Roofs	Hip Roofs

Lot Fit Analysis
The applicant has provided a lot fit analysis for each of the four (4) standard plan homes. This document will need to be revised to be more specific to the Hamstra Dairy, Phase 1 subdivision to determine all potential restrictions.

Colors/Materials
The applicant has proposed four (4) different color / materials schemes, per architectural style such as Modern Hacienda, Modern Farmhouse, Modern Desert and Modern Ranch (Modern Ranch is offered under other Hamstra Dairy standard plan applications – ST18-12 and ST18-13). Typically, four (4) colors/ materials schemes by architectural style would be adequate; however, due to the size of the Hamstra Dairy master planned community with 332 residential lots distributed over three (3) different zoning districts (SF-7, SF-8 and SF-10) and three (3) different standard plan applications, Staff has noted to the applicant that additional diversity through colors / materials schemes should be provided. A total of 16 colors / materials schemes for the ultimate total of 332 residential home lots amongst the 3 unique standard plan applications (SF18-11, ST18-12 and ST18-13), will not be enough diversity throughout the overall development and that more offerings will need to be provided.

REQUESTED INPUT

Planning Staff has completed first review of the project and provided comments to the applicant. Additional comment and feedback from the Planning Commission / Design Review Board is requested at this time.

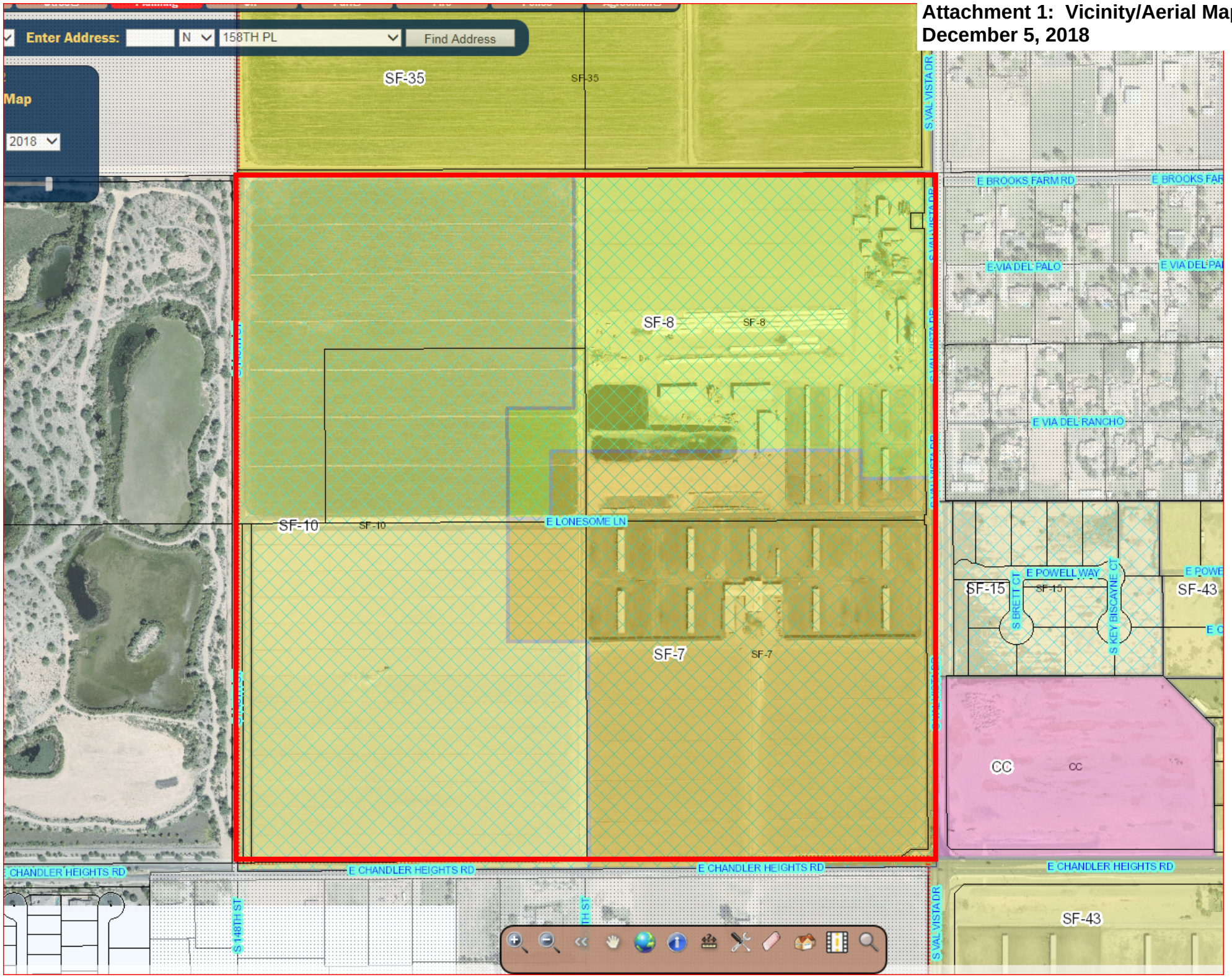
1. Input regarding overall architectural design and architectural diversity
2. Building massing
3. Roofline articulation,
4. Garage doors style and variation, and;
5. Colors/ materials schemes – quantity/ diversity for 332 total lots.

Respectfully submitted,
Nathan Williams, AICP
Senior Planner

Attachments and Enclosures:

1) Vicinity/Aerial Map
2) Final Plat-1st Submittal (10 pages)
3) Hamstra Dairy Phasing Plan
4) Plan 50-1 - Elevations (9 Pages)
5) Plan 50-2 - Elevations (8 Pages)
6) Plan 50-3 - Elevations (11 Pages)
7) Plan 50-4 - Elevations (6 Pages)
8) Floorplans (Plans – 50-1, 50-2, 50-3 and 50-4) (22 Pages)
9) Colors and Materials (19 Pages)
10) Lot Fit Analysis (8 pages)
11) Typical Plot Plans (4 Pages)

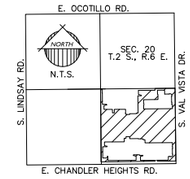
ST18-11 Hamstra Dairy
Attachment 1: Vicinity/Aerial Map
December 5, 2018



FINAL PLAT

HAMSTRA DAIRY - PHASE I

A SUBDIVISION OF A PORTION OF THE SOUTHEAST QUARTER OF
SECTION 20 TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA.



VICINITY MAP

DEDICATION

KNOW ALL MEN BY THESE PRESENTS: THAT MARACAY 91, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, HEREBY PUBLISHES THIS PLAT OF "HAMSTRA DAIRY – PHASE 1" LYING WITHIN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 20 TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, AND HEREBY DECLARES THAT SAID PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF EACH LOT, TRACT, STREET AND EASEMENT, AND THAT EACH LOT, TRACT OR STREET SHALL BE KNOWN BY THE NUMBER, LETTER OR NAME GIVEN TO EACH RESPECTIVELY.

THE PUBLIC STREETS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE TOWN OF GILBERT.

PUBLIC UTILITY EASEMENTS ARE DEDICATED FOR THE BENEFIT OF PUBLIC UTILITIES AND ARE LOCATED WHERE SHOWN, IN, OVER, AND UNDER THE AREAS DESIGNATED AS SUCH HEREON, FOR THE INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF NECESSARY UTILITIES. PUBLIC UTILITIES LOCATING UTILITY FACILITIES IN THIS PUBLIC UTILITY EASEMENT SHALL COMPLY WITH THE CODES AND REGULATIONS OF THE TOWN OF GILBERT, ARIZONA. SUCH PUBLIC UTILITIES SHALL BE AND REMAIN RESPONSIBLE FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE AND REPAIR OF THEIR UTILITY FACILITIES.

TRACTS A THROUGH Z ARE NOT DEDICATED TO THE PUBLIC, BUT ARE PLATTED AS COMMON PROPERTY FOR THE USE AND ENJOYMENT OF THE _____(HOA), AS MORE FULLY SET FORTH IN THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS.

OWNER WARRANTS AND REPRESENTS TO THE TOWN OF GILBERT TO BE THE SOLE OWNER OF THE PROPERTY COVERED HEREBY AND THAT EVERY EASEMENT HOLDER, OR OTHER PERSON, OR ENTITY, HAVING ANY INTEREST IN THE LAND ADVERSE TO OR INCONSISTENT WITH THE DEDICATIONS, CONVEYANCES, OR OTHER REAL PROPERTY INTEREST CREATED OR TRANSFERRED BY THIS PLAT HAS CONSENTED TO, OR JOINED IN THIS PLAT, AS EVIDENCED BY INSTRUMENTS WHICH ARE RECORDED WITH THE MARICOPA COUNTY RECORDER'S OFFICE, OR WHICH OWNER WILL RECORD NOT LATER THAN DATE ON WHICH THIS PLAT IS RECORDED.

IN WITNESS WHEREOF: MARACAY 91, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER, HAS HEREUNTO CAUSED ITS NAME TO BE AFFIXED AND THE SAME TO BE ATTESTED BY THE SIGNATURES OF THE UNDERSIGNED OFFICER THEREUNTO DULY AUTHORIZED THIS _____ DAY OF _____, 2018.

BY: MARACAY 91, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER.

BY: _____

ITS: _____

ACKNOWLEDGMENT

STATE OF ARIZONA)
) S.S.
COUNTY OF MARICOPA)

ON THIS _____ DAY OF _____, 2018, BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED _____ WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL.

_____
NOTARY PUBLIC DATE

MY COMMISSION EXPIRES: _____

NO LENDER OWNER STATEMENT

THE UNDERSIGNED OWNER REPRESENTS AND WARRANTS THAT THE PROPERTY INCLUDED IN THE DEDICATED TRACTS IS FREE AND CLEAR OF ALL MONETARY LIENS AND THE DEDICATED TRACTS ARE NOT BEING USED FOR THE SECURITY OR OTHER COLLATERAL FOR ANY DEBT OF OWNER.

DATED THIS _____ DAY OF _____, 2018

BY: MARACAY 91, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER

BY: _____

ITS: _____

ACKNOWLEDGMENT FOR NO LENDER OWNER STATEMENT

STATE OF ARIZONA)
) S.S.
COUNTY OF MARICOPA)

ON THIS _____ DAY OF _____, 2018 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED _____, WHO ACKNOWLEDGED SELF TO BE _____ OF MARACAY 91, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AND BEING DULY AUTHORIZED SO TO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES HEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

BY: _____
NOTARY PUBLIC DATE
MY COMMISSION EXPIRES:

AREA SUMMARY TABLE		
DESCRIPTION	AREA (SF)	AREA (ACRES)
LOTS 1–156	1,880,533	43.1711
TRACTS A–Z	1,159,332	26.6146
NEW RIGHT OF WAY	710,961	16.3214
TOTAL AREA	3,750,826	86.1071

GENERAL NOTES

1. CONSTRUCTION WITHIN PUBLIC EASEMENTS, EXCEPT BY PUBLIC AGENCIES AND UTILITY COMPANIES, SHALL BE LIMITED TO UTILITIES AND WOOD, WIRE OR REMOVABLE SECTION TYPE FENCING UNLESS APPROVED BY THE TOWN OF GILBERT.
2. ALL UTILITIES SHALL BE CONSTRUCTED UNDERGROUND.
3. ELECTRIC LINES TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY THE ARIZONA CORPORATION COMMISSION.
4. ALL COMMUNICATION LINES TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY ARIZONA CORPORATION COMMISSION.
5. A COMMUNITY COUNCIL SHALL MAINTAIN PRIVATE UTILITIES, PRIVATE FACILITIES, COMMON AREA LANDSCAPING AND LANDSCAPING IN THE RIGHT-OF-WAY ADJACENT TO THE PROJECT. THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR AND WILL NOT ACCEPT MAINTENANCE OF SUCH AREAS.
6. NO STRUCTURES SHALL BE CONSTRUCTED IN OR ACROSS NOR SHALL OTHER IMPROVEMENTS OR ALTERATIONS BE MADE TO THE DRAINAGE FACILITIES THAT ARE A PART OF THIS DEVELOPMENT WITHOUT THE WRITTEN AUTHORIZATION OF THE TOWN OF GILBERT.
7. ALL RETENTION BASINS MUST DRAIN ANY STORM EVENT UP TO AND INCLUDING THE 50-YEAR, 24 HOUR STORM WITHIN 36 HOURS, OWNER(S) OF ANY EXISTING BASIN FAILING TO MEET THIS REQUIREMENT MUST TAKE CORRECTIVE ACTION TO BRING THE BASIN INTO COMPLIANCE.
8. ALL PROPERTIES PLATTED HEREON ARE SUBJECT TO AN ANNUAL STREET LIGHT IMPROVEMENT DISTRICT ASSESSMENT.
9. ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNER(S) AND ARE TO BE REPLACED BY THE OWNER(S) WHEN THEY CEASE TO DRAIN THE SURFACE WATER IN A 36 HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL.
10. A #4 REBAR 18" IN LENGTH WILL BE SET AT EACH PROPERTY CORNER.
11. ALL LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY SHOWN ON THIS PLAT IS TO BE MAINTAINED BY THE COMMUNITY COUNCIL.
12. AN AVIGATION EASEMENT AND RELEASE FOR THIS PLAT IS RECORDED AS DOCUMENT NUMBER _____ WITH MARICOPA COUNTY RECORDER. THIS SUBDIVISION IS WITHIN 2 MILES OF PHOENIX-MESA GATEWAY AIRPORT. INFORMATION REGARDING AIRCRAFT OPERATIONS AND AIRPORT DEVELOPMENT IS AVAILABLE THROUGH THE AIRPORT ADMINISTRATION OFFICE.
13. THESE PROPERTIES, DUE TO THEIR PROXIMITY TO PHOENIX-MESA GATEWAY AIRPORT, ARE LIKELY TO EXPERIENCE AIRCRAFT OVERFLIGHTS, WHICH COULD GENERATE NOISE LEVELS WHICH MAY BE OF CONCERN TO SOME INDIVIDUALS. THE MIX OF AIR TRAFFIC CONSISTS OF CARGO, COMMERCIAL, CHARTER, CORPORATE, GENERAL AVIATION AND MILITARY AIRCRAFT.
14. THE COMMUNITY COUNCIL SHALL BE RESPONSIBLE FOR MAINTAINING THE AREAS WITHIN THE PUBLIC UTILITY EASEMENTS (PUE).
15. ALL BUILDING SETBACKS SHALL COMPLY WITH COUNCIL ORDINANCE NO. 2559, AS AMENDED.

RATIFICATION

BY THIS RATIFICATION _____ DULY ELECTED _____ OF THE MORRISON RANCH COMMUNITY COUNCIL ACKNOWLEDGES THE RESPONSIBILITIES IDENTIFIED HEREIN.

SIGNATURE: _____ DATE: _____

ACKNOWLEDGMENT

STATE OF ARIZONA)
) S.S.
COUNTY OF MARICOPA)

ON THIS _____ DAY OF _____, 2018 BEFORE ME PERSONALLY APPEARED _____, WHO ACKNOWLEDGES SELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF:
I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

_____.
NOTARY PUBLIC

MY COMMISSION EXPIRES:

ENGINEER:

CONSULTANT:
EPS GROUP, INC.
2045 S. VINEYARD, SUITE 101
MESA, AZ 85210
TEL: (480)-503-2250
FAX: (480)-503-2258
CONTACT: ERIC WINTERS, PE

DEVELOPER/OWNER

MARACAY 91, L.L.C.
15279 N. SCOTTSDALE RD., SUITE 300
SCOTTSDALE, AZ 85254
PHONE: (480) 346-2686
FAX: (480) 970-8899
CONTACT: JASON WEBER

LEGEND

▣	SECTION CORNER
⊙	SET BRASS CAP AT COMPLETION OF CONSTRUCTION
●	CORNER OF SUBDIVISION, SET 1/2" REBAR W/ RLS # 42937 UNLESS OTHERWISE NOTED
BC	BRASS CAP
BCHH	BRASS CAP IN A HAND HOLE
MCR	MARICOPA COUNTY RECORDER
PUE	PUBLIC UTILITY EASEMENT
RW	RIGHT-OF-WAY
VNAE	VEHICULAR NON-ACCESS EASEMENT

SHEET INDEX

SHEET 1 – COVER SHEET
SHEET 2 – LEGAL DESCRIPTION
SHEET 3 – KEY MAP
SHEET 4–10 – PLAN SHEETS

BASIS OF BEARINGS

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, BEING **NORTH 89°37'42" EAST** AS MEASURED AND SHOWN ON MARICOPA COUNTY GDACS SURVEY RECORDED IN BOOK 589, PAGE 47, MARICOPA COUNTY RECORDS

CERTIFICATION

I, JESSE BOYD, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF ARIZONA; THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY MADE UNDER MY DIRECTION DURING THE MONTH OF APRIL 2017; THAT THE SURVEY IS TRUE AND CORRECT AS SHOWN; THAT ALL MONUMENTS ACTUALLY EXIST OR WILL BE SET AS SHOWN; THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

LAND SURVEYOR: JESSE BOYD, R.L.S.
EPS GROUP, INC.
2045 S. VINEYARD AVENUE, SUITE 101
MESA, AZ 85210

APPROVALS

APPROVED BY THE MAYOR AND TOWN COUNCIL OF THE TOWN OF GILBERT,

ARIZONA, THIS _____ DAY OF _____, 2018.

_____
MAYOR

_____
TOWN CLERK

_____
TOWN ENGINEER DATE

_____
PLANNING MANAGER DATE

ST18-11 Hamstra Dairy
Attachment 2: Final Plat-1st Submittal
(10 pages)
December 5, 2018

EPS GROUP
2045 S. Vineyard Ave, Suite 101
Mesa, Az 85210
T:480.503.2250 | F:480.503.2258
www.epsgroupinc.com

HAMSTRA DAIRY - PHASE I
GILBERT, ARIZONA
FINAL PLAT

Project:

Revisions:

Call at least two full working days before you begin excavation.
ARIZONA 811
Dial 8-1-1 or 1-800-STAKE IT (782-5348)
In Maricopa County: (602)263-1100

Designer: JB
Drawn by: JB

REGISTERED LAND SURVEYOR
CERTIFICATE NO.
42937
JESSE BOYD
Date Signed 06/18/18
ARIZONA, U.S.A.
Expires 06/30/2020

Job No.
17-144

FP01

Sheet No.
1
of 10

17-144

Jun 25, 2018 12:18pm S:\Projects\2017\17-144\Legal Survey\Dwgs\Final Plat\17-144 - PH1 - Plat.dwg

jboyd

LEGAL DESCRIPTION

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 20 TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A BRASS CAP IN HANDHOLE AT THE EAST QUARTER-CORNER OF SAID SECTION 20, FROM WHICH A BRASS CAP IN HANDHOLE AT THE SOUTHEAST CORNER OF SAID SECTION 20 BEARS SOUTH 0 DEGREES 19 MINUTES 11 SECONDS EAST, 2636.89 FEET;

THENCE ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER, SOUTH 0 DEGREES 19 MINUTES 11 SECONDS EAST, 2581.89 FEET;

THENCE SOUTH 89 DEGREES 37 MINUTES 42 SECONDS WEST, 642.84 FEET;

THENCE NORTH 45 DEGREES 22 MINUTES 18 SECONDS WEST, 35.36 FEET;

THENCE NORTH 0 DEGREES 22 MINUTES 18 SECONDS WEST, 10.36 FEET;

THENCE NORTH 89 DEGREES 40 MINUTES 49 SECONDS EAST, 405.08 FEET;

THENCE NORTH 0 DEGREES 19 MINUTES 11 SECONDS WEST, 130.00 FEET;

THENCE NORTH 89 DEGREES 40 MINUTES 49 SECONDS EAST, 42.11 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHWEST, HAVING A RADIUS OF 100.00 FEET;

THENCE SOUTHEASTERLY 35.54 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 20 DEGREES 21 MINUTES 51 SECONDS TO A POINT OF REVERSE CURVATURE OF A CURVE, CONCAVE NORTHWEST, HAVING A RADIUS OF 60.00 FEET;

THENCE NORTHEASTERLY 136.90 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 130 DEGREES 43 MINUTES 42 SECONDS TO A POINT OF REVERSE CURVATURE OF A CURVE HAVING A RADIUS OF 100.00 FEET;

THENCE NORTHWESTERLY 35.54 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 20 DEGREES 21 MINUTES 51 SECONDS;

THENCE NORTH 0 DEGREES 19 MINUTES 11 SECONDS WEST, 148.64 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHEAST, HAVING A RADIUS OF 100.00 FEET;

THENCE NORTHEASTERLY 35.54 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 20 DEGREES 21 MINUTES 51 SECONDS TO A POINT OF REVERSE CURVATURE OF A CURVE HAVING A RADIUS OF 60.00 FEET;

THENCE NORTHWESTERLY 61.81 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 59 DEGREES 01 MINUTES 26 SECONDS;

THENCE ON A NON-TANGENT LINE NORTH 51 DEGREES 01 MINUTES 14 SECONDS EAST, 9.79 FEET;

THENCE NORTH 0 DEGREES 19 MINUTES 11 SECONDS WEST, 136.40 FEET;

THENCE SOUTH 89 DEGREES 40 MINUTES 49 SECONDS WEST, 975.00 FEET;

THENCE NORTH 0 DEGREES 19 MINUTES 11 SECONDS WEST, 113.69 FEET;

THENCE SOUTH 89 DEGREES 40 MINUTES 49 SECONDS WEST, 69.50 FEET;

THENCE NORTH 0 DEGREES 19 MINUTES 11 SECONDS WEST, 31.31 FEET;

THENCE SOUTH 89 DEGREES 40 MINUTES 49 SECONDS WEST, 164.36 FEET;

THENCE NORTH 0 DEGREES 19 MINUTES 11 SECONDS WEST, 10.00 FEET;

THENCE SOUTH 89 DEGREES 40 MINUTES 49 SECONDS WEST, 305.00 FEET;

THENCE NORTH 0 DEGREES 01 MINUTES 31 SECONDS WEST, 72.83 FEET;

THENCE SOUTH 89 DEGREES 58 MINUTES 29 SECONDS WEST, 133.50 FEET;

THENCE SOUTH 0 DEGREES 01 MINUTES 31 SECONDS EAST, 59.35 FEET;

THENCE SOUTH 89 DEGREES 58 MINUTES 29 SECONDS WEST, 64.00 FEET;

THENCE SOUTH 0 DEGREES 01 MINUTES 31 SECONDS EAST, 125.19 FEET;

THENCE SOUTH 89 DEGREES 58 MINUTES 29 SECONDS WEST, 700.00 FEET;

THENCE SOUTH 0 DEGREES 01 MINUTES 31 SECONDS EAST, 133.50 FEET;

THENCE SOUTH 77 DEGREES 45 MINUTES 39 SECONDS EAST, 95.30 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE SOUTHEAST, FROM WHICH THE RADIUS POINT BEARS SOUTH 41 DEGREES 25 MINUTES 35 SECONDS EAST A DISTANCE OF 55.00 FEET;

THENCE SOUTHWESTERLY 20.87 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 21 DEGREES 44 MINUTES 18 SECONDS;

THENCE ON A NON-TANGENT LINE SOUTH 89 DEGREES 58 MINUTES 29 SECONDS WEST, 145.93 FEET;

THENCE SOUTH 0 DEGREES 01 MINUTES 31 SECONDS EAST, 400.00 FEET;

THENCE NORTH 89 DEGREES 58 MINUTES 29 SECONDS EAST, 155.00 FEET;

THENCE NORTH 9 DEGREES 03 MINUTES 03 SECONDS EAST, 61.97 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEAST, FROM WHICH THE RADIUS POINT BEARS NORTH 33 DEGREES 18 MINUTES 32 SECONDS EAST A DISTANCE OF 55.00 FEET;

THENCE SOUTHEASTERLY 20.00 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 20 DEGREES 50 MINUTES 20 SECONDS;

THENCE ON A NON-TANGENT LINE SOUTH 0 DEGREES 01 MINUTES 31 SECONDS EAST, 141.30 FEET;

THENCE NORTH 89 DEGREES 58 MINUTES 29 SECONDS EAST, 1000.00 FEET;

THENCE NORTH 0 DEGREES 01 MINUTES 31 SECONDS WEST, 150.00 FEET;

THENCE NORTH 78 DEGREES 27 MINUTES 38 SECONDS WEST, 95.01 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHWEST, FROM WHICH THE RADIUS POINT BEARS NORTH 61 DEGREES 52 MINUTES 08 SECONDS WEST A DISTANCE OF 55.00 FEET;

THENCE NORTHEASTERLY 28.14 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 29 DEGREES 18 MINUTES 51 SECONDS;

THENCE ON A NON-TANGENT LINE NORTH 89 DEGREES 58 MINUTES 29 SECONDS EAST, 140.01 FEET;

THENCE NORTH 89 DEGREES 40 MINUTES 49 SECONDS EAST, 68.78 FEET;

THENCE SOUTH 0 DEGREES 19 MINUTES 11 SECONDS EAST, 20.00 FEET;

THENCE NORTH 89 DEGREES 40 MINUTES 49 SECONDS EAST, 120.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEAST, FROM WHICH THE RADIUS POINT BEARS NORTH 89 DEGREES 40 MINUTES 49 SECONDS EAST A DISTANCE OF 60.00 FEET;

THENCE SOUTHEASTERLY 15.46 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 14 DEGREES 45 MINUTES 50 SECONDS;

THENCE ON A NON-TANGENT LINE SOUTH 74 DEGREES 54 MINUTES 59 SECONDS WEST, 93.04 FEET;

THENCE SOUTH 0 DEGREES 19 MINUTES 11 SECONDS EAST, 141.00 FEET;

THENCE NORTH 89 DEGREES 40 MINUTES 49 SECONDS EAST, 520.00 FEET;

THENCE NORTH 89 DEGREES 37 MINUTES 42 SECONDS EAST, 15.12 FEET;

THENCE SOUTH 0 DEGREES 22 MINUTES 18 SECONDS EAST, 10.42 FEET;

THENCE SOUTH 44 DEGREES 37 MINUTES 42 SECONDS WEST, 35.36 FEET;

THENCE SOUTH 89 DEGREES 37 MINUTES 42 SECONDS WEST, 1911.71 FEET TO A POINT ON THE WEST LINE OF SAID SOUTHEAST QUARTER;

THENCE ALONG SAID WEST LINE, NORTH 0 DEGREES 01 MINUTES 31 SECONDS WEST, 2587.29 FEET TO A REBAR AT THE CENTER QUARTER-CORNER OF SAID SECTION 20;

THENCE ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER, NORTH 89 DEGREES 44 MINUTES 40 SECONDS EAST, 53.83 FEET;

THENCE SOUTH 0 DEGREES 14 MINUTES 26 SECONDS EAST, 145.63 FEET;

THENCE NORTH 89 DEGREES 58 MINUTES 29 SECONDS EAST, 8.62 FEET;

THENCE SOUTH 0 DEGREES 01 MINUTES 31 SECONDS EAST, 400.00 FEET;

THENCE NORTH 89 DEGREES 58 MINUTES 29 SECONDS EAST, 141.90 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEAST, FROM WHICH THE RADIUS POINT BEARS NORTH 74 DEGREES 51 MINUTES 09 SECONDS EAST A DISTANCE OF 55.00 FEET;

THENCE SOUTHEASTERLY 23.11 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 24 DEGREES 04 MINUTES 32 SECONDS;

THENCE ON A NON-TANGENT LINE SOUTH 74 DEGREES 13 MINUTES 19 SECONDS WEST, 102.84 FEET;

THENCE SOUTH 0 DEGREES 01 MINUTES 31 SECONDS EAST, 132.32 FEET;

THENCE NORTH 89 DEGREES 58 MINUTES 29 SECONDS EAST, 300.00 FEET;

THENCE SOUTH 0 DEGREES 01 MINUTES 31 SECONDS EAST, 125.19 FEET;

THENCE NORTH 89 DEGREES 58 MINUTES 29 SECONDS EAST, 66.00 FEET;

THENCE NORTH 0 DEGREES 01 MINUTES 31 SECONDS WEST, 125.19 FEET;

THENCE NORTH 89 DEGREES 58 MINUTES 29 SECONDS EAST, 400.00 FEET;

THENCE SOUTH 0 DEGREES 01 MINUTES 31 SECONDS EAST, 130.50 FEET;

THENCE SOUTH 38 DEGREES 31 MINUTES 34 SECONDS WEST, 10.98 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE SOUTHWEST, FROM WHICH THE RADIUS POINT BEARS SOUTH 38 DEGREES 31 MINUTES 34 SECONDS WEST A DISTANCE OF 71.50 FEET;

THENCE SOUTHEASTERLY 53.71 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 43 DEGREES 02 MINUTES 33 SECONDS;

THENCE ON A NON-TANGENT LINE NORTH 89 DEGREES 58 MINUTES 29 SECONDS EAST, 124.27 FEET;

THENCE NORTH 0 DEGREES 01 MINUTES 31 SECONDS WEST, 27.57 FEET;

THENCE NORTH 89 DEGREES 58 MINUTES 29 SECONDS EAST, 246.40 FEET;

THENCE NORTH 0 DEGREES 01 MINUTES 31 SECONDS WEST, 22.50 FEET;

THENCE NORTH 89 DEGREES 58 MINUTES 29 SECONDS EAST, 53.29 FEET;

THENCE NORTH 0 DEGREES 19 MINUTES 11 SECONDS WEST, 612.36 FEET;

THENCE NORTH 89 DEGREES 40 MINUTES 49 SECONDS EAST, 122.01 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE SOUTHEAST, FROM WHICH THE RADIUS POINT BEARS SOUTH 89 DEGREES 36 MINUTES 18 SECONDS EAST A DISTANCE OF 68.00 FEET;

THENCE NORTHEASTERLY 17.16 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 14 DEGREES 27 MINUTES 25 SECONDS;

THENCE ON A NON-TANGENT LINE NORTH 75 DEGREES 08 MINUTES 53 SECONDS WEST, 108.14 FEET;

THENCE NORTH 0 DEGREES 19 MINUTES 11 SECONDS WEST, 143.90 FEET;

THENCE NORTH 89 DEGREES 40 MINUTES 49 SECONDS EAST, 587.97 FEET;

THENCE NORTH 0 DEGREES 15 MINUTES 20 SECONDS WEST, 63.67 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTHEAST QUARTER;

THENCE ALONG SAID NORTH LINE, NORTH 89 DEGREES 44 MINUTES 40 SECONDS EAST, 711.96 FEET TO THE POINT OF BEGINNING.

EXCEPT THE FOLLOWING DESCRIBED PARCEL:

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 20 TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA:

COMMENCING AT A BRASS CAP IN HANDHOLE AT THE EAST QUARTER-CORNER OF SAID SECTION 20, FROM WHICH A BRASS CAP IN HANDHOLE AT THE SOUTHEAST CORNER OF SAID SECTION 20 BEARS SOUTH 0 DEGREES 19 MINUTES 11 SECONDS EAST, 2636.89 FEET;

THENCE ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER, SOUTH 89 DEGREES 44 MINUTES 40 SECONDS WEST, 369.92 FEET;

THENCE SOUTH 0 DEGREES 15 MINUTES 20 SECONDS EAST, 71.98 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 0 DEGREES 19 MINUTES 11 SECONDS EAST, 131.31 FEET;

THENCE NORTH 89 DEGREES 40 MINUTES 49 SECONDS EAST, 139.32 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWEST, HAVING A RADIUS OF 100.00 FEET;

THENCE NORTHEASTERLY 35.54 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 20 DEGREES 21 MINUTES 51 SECONDS TO A POINT OF REVERSE CURVATURE OF A CURVE, CONCAVE SOUTHWEST, HAVING A RADIUS OF 60.00 FEET;

THENCE SOUTHEASTERLY 136.90 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 130 DEGREES 43 MINUTES 42 SECONDS TO A POINT OF REVERSE CURVATURE OF A CURVE HAVING A RADIUS OF 100.00 FEET;

THENCE SOUTHWESTERLY 35.54 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 20 DEGREES 21 MINUTES 51 SECONDS;

THENCE SOUTH 0 DEGREES 19 MINUTES 11 SECONDS EAST, 168.64 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEAST, HAVING A RADIUS OF 100.00 FEET;

THENCE SOUTHEASTERLY 35.54 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 20 DEGREES 21 MINUTES 51 SECONDS TO A POINT OF REVERSE CURVATURE OF A CURVE HAVING A RADIUS OF 60.00 FEET;

THENCE SOUTHWESTERLY 56.61 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 54 DEGREES 03 MINUTES 15 SECONDS;

THENCE ON A NON-TANGENT LINE SOUTH 56 DEGREES 37 MINUTES 47 SECONDS EAST, 30.14 FEET;

THENCE SOUTH 0 DEGREES 19 MINUTES 11 SECONDS EAST, 140.00 FEET;

THENCE SOUTH 89 DEGREES 40 MINUTES 49 SECONDS WEST, 1020.00 FEET;

THENCE NORTH 0 DEGREES 19 MINUTES 11 SECONDS WEST, 130.00 FEET;

THENCE NORTH 44 DEGREES 40 MINUTES 49 SECONDS EAST, 14.14 FEET;

THENCE NORTH 0 DEGREES 19 MINUTES 11 SECONDS WEST, 50.00 FEET;

THENCE NORTH 45 DEGREES 19 MINUTES 11 SECONDS WEST, 14.14 FEET;

THENCE NORTH 0 DEGREES 19 MINUTES 11 SECONDS WEST, 130.00 FEET;

THENCE NORTH 89 DEGREES 40 MINUTES 49 SECONDS EAST, 510.00 FEET;

THENCE NORTH 0 DEGREES 19 MINUTES 11 SECONDS WEST, 190.00 FEET;

THENCE SOUTH 89 DEGREES 40 MINUTES 49 SECONDS WEST, 10.00 FEET;

THENCE NORTH 45 DEGREES 19 MINUTES 11 SECONDS WEST, 7.07 FEET;

THENCE NORTH 0 DEGREES 19 MINUTES 11 SECONDS WEST, 135.00 FEET;

THENCE NORTH 89 DEGREES 40 MINUTES 49 SECONDS EAST, 85.00 FEET;

THENCE NORTH 89 DEGREES 51 MINUTES 56 SECONDS EAST, 85.00 FEET;

THENCE SOUTH 84 DEGREES 39 MINUTES 56 SECONDS EAST, 85.42 FEET TO THE POINT OF BEGINNING.

CONTAINS 86.1071 ACRES, MORE OR LESS.

EPS GROUP
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HAMSTRA DAIRY - PHASE I
GILBERT, ARIZONA
FINAL PLAT

Project:

Revisions:

Call at least two full working days before you begin excavation.
ARIZONA 811
Blue Stake, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602)263-1100

Designer: JB
Drawn by: JB

REGISTERED LAND SURVEYOR
CERTIFICATE NO.
42937
JESSE BOYD
Date Signed 06/25/18
ARIZONA U.S.A.
Expires 06/30/2020

Job No.
17-144

FP02

Sheet No.
2
of 10

17-144

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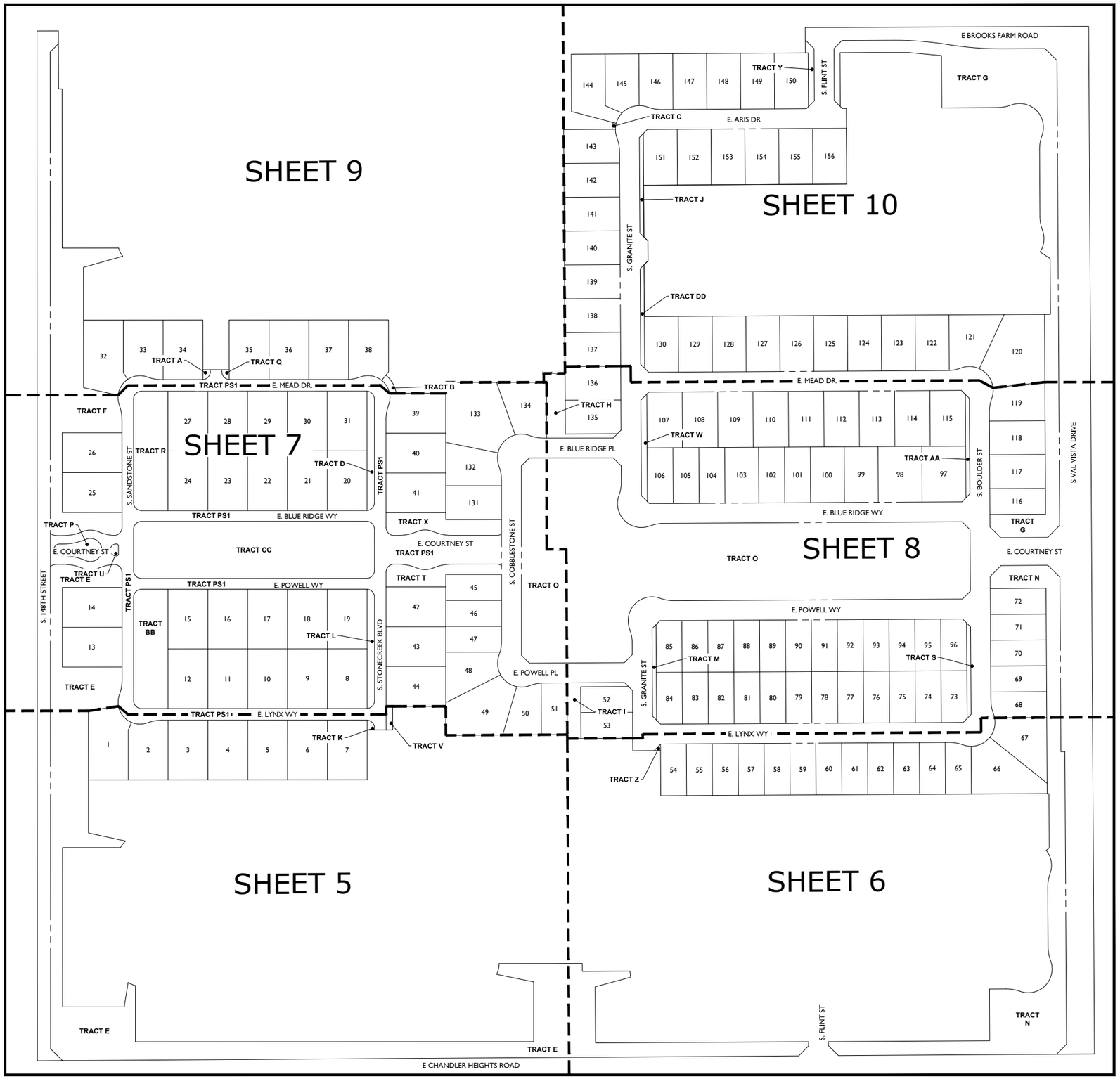

KEY MAP (NOT TO SCALE)

17-144

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jboyd

EPS GROUP
2045 S. Vineyard Ave, Suite 101
Mesa, Az 85210
T:480.503.2250 | F:480.503.2258
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Project:

HAMSTRA DAIRY - PHASE I

GILBERT, ARIZONA

FINAL PLAT

Revisions:

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REGISTERED LAND SURVEYOR
CERTIFICATE NO.
42937
JESSE BOYD
Date Signed 06/25/18
ARIZONA, U.S.A.
Expires 06/30/2020

Job No.
17-144

FP03

Sheet No.
3
of 10

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BRG
C1	125.49'	55.00'	130°43'42"	119.93'	99.99'	S45°01'31"E
C2	37.32'	105.00'	20°21'51"	18.86'	37.12'	S79°47'33"W
C3	31.42'	20.00'	90°00'00"	20.00'	28.28'	N45°01'31"W
C4	35.54'	100.00'	20°21'51"	17.96'	35.36'	N80°08'16"W
C5	136.90'	60.00'	130°43'42"	130.83'	109.08'	N44°40'49"E
C6	37.32'	105.00'	20°21'51"	18.86'	37.12'	N10°09'24"E
C7	31.42'	20.00'	90°00'00"	20.00'	28.28'	S45°01'31"E
C8	31.42'	20.00'	90°00'00"	20.00'	28.28'	N44°58'29"E
C9	34.64'	96.50'	20°33'59"	17.51'	34.45'	S79°23'50"W
C10	137.42'	60.00'	131°13'29"	132.35'	109.29'	S45°16'25"E
C11	35.54'	100.00'	20°21'51"	17.96'	35.36'	N10°09'24"E
C12	12.25'	20.00'	35°05'59"	6.33'	12.06'	N72°28'32"W
C13	12.25'	20.00'	35°05'59"	6.33'	12.06'	N72°25'30"E
C14	49.04'	120.00'	23°24'56"	24.87'	48.70'	S78°16'01"W
C15	40.87'	50.00'	46°49'52"	21.65'	39.74'	N89°58'29"E
C16	49.04'	120.00'	23°24'56"	24.87'	48.70'	N78°19'03"W
C17	49.04'	120.00'	23°24'56"	24.87'	48.70'	S78°19'03"E
C18	40.87'	50.00'	46°49'52"	21.65'	39.74'	S89°58'29"W
C19	49.04'	120.00'	23°24'56"	24.87'	48.70'	N78°16'01"E
C20	31.42'	20.00'	90°00'00"	20.00'	28.28'	S45°01'31"E

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BRG
C21	31.42'	20.00'	90°00'00"	20.00'	28.28'	S44°58'29"W
C22	31.42'	20.00'	90°00'00"	20.00'	28.28'	N45°01'31"W
C23	31.42'	20.00'	90°00'00"	20.00'	28.28'	N44°58'29"E
C24	31.42'	20.00'	90°00'00"	20.00'	28.28'	S44°58'29"W
C25	31.42'	20.00'	90°00'00"	20.00'	28.28'	S45°01'31"E
C26	33.03'	20.00'	94°37'18"	21.68'	29.40'	N47°20'10"W
C27	39.36'	120.00'	18°47'38"	19.86'	39.19'	S75°57'22"W
C28	40.87'	50.00'	46°49'52"	21.65'	39.74'	N89°58'29"E
C29	49.04'	120.00'	23°24'56"	24.87'	48.70'	N78°19'03"W
C30	17.36'	25.00'	39°47'31"	9.05'	17.02'	S70°04'44"W
C31	23.56'	15.00'	90°00'00"	15.00'	21.21'	S45°01'31"E
C32	57.62'	141.00'	23°24'56"	29.22'	57.22'	N78°19'03"W
C33	57.40'	29.00'	113°24'56"	44.16'	48.48'	N56°40'57"E
C34	23.56'	15.00'	90°00'00"	15.00'	21.21'	S45°01'31"E
C35	7.07'	4.50'	90°00'00"	4.50'	6.36'	N44°58'29"E
C36	7.07'	4.50'	90°00'00"	4.50'	6.36'	N45°01'31"W
C37	23.56'	15.00'	90°00'00"	15.00'	21.21'	S44°58'29"W
C38	57.40'	29.00'	113°24'56"	44.16'	48.48'	N56°43'59"W
C39	57.62'	141.00'	23°24'56"	29.22'	57.22'	N78°16'01"E
C40	23.56'	15.00'	90°00'00"	15.00'	21.21'	S44°58'29"W

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BRG
C41	17.36'	25.00'	39°47'31"	9.05'	17.02'	S70°07'46"E
C42	49.04'	120.00'	23°24'56"	24.87'	48.70'	N78°16'01"E
C43	40.87'	50.00'	46°49'52"	21.65'	39.74'	S89°58'29"W
C44	39.36'	120.00'	18°47'38"	19.86'	39.19'	S76°00'24"E
C45	33.03'	20.00'	94°37'18"	21.68'	29.40'	N47°17'08"E
C46	31.42'	20.00'	90°00'00"	20.00'	28.28'	S44°58'29"W
C47	31.42'	20.00'	90°00'00"	20.00'	28.28'	S45°01'31"E
C48	31.42'	20.00'	90°00'00"	20.00'	28.28'	N45°01'31"W
C49	31.42'	20.00'	90°00'00"	20.00'	28.28'	N44°58'29"E
C50	31.42'	20.00'	90°00'00"	20.00'	28.28'	N45°01'31"W
C51	37.32'	105.00'	20°21'51"	18.86'	37.12'	S10°09'24"W
C52	31.42'	20.00'	90°00'00"	20.00'	28.28'	S44°58'29"W
C53	37.32'	105.00'	20°21'51"	18.86'	37.12'	N10°12'27"W
C54	35.92'	100.00'	20°34'52"	18.16'	35.73'	N10°05'56"W
C55	136.90'	60.00'	130°43'42"	130.83'	109.08'	S44°58'29"W
C56	35.54'	100.00'	20°21'51"	17.96'	35.36'	S79°50'36"E
C57	35.54'	100.00'	20°21'51"	17.96'	35.36'	N09°51'44"E
C58	136.90'	60.00'	130°43'42"	130.83'	109.08'	S45°19'11"E
C59	35.54'	100.00'	20°21'51"	17.96'	35.36'	S79°29'54"W
C60	35.54'	100.00'	20°21'51"	17.96'	35.36'	S09°51'44"W

LOT AREA TABLE

LOT #	AREA (SF)	AREA (AC)
1	17,582	0.4036
2	14,443	0.3316
3	15,000	0.3444
4	15,000	0.3444
5	15,000	0.3444
6	15,000	0.3444
7	15,000	0.3444
8	15,000	0.3444
9	15,000	0.3444
10	15,000	0.3444
11	15,000	0.3444
12	15,000	0.3444
13	15,000	0.3444
14	15,000	0.3444
15	15,000	0.3444
16	15,000	0.3444
17	15,000	0.3444
18	15,000	0.3444
19	15,000	0.3444
20	15,000	0.3444

LOT AREA TABLE

LOT #	AREA (SF)	AREA (AC)
21	15,000	0.3444
22	15,000	0.3444
23	15,000	0.3444
24	15,000	0.3444
25	15,000	0.3444
26	15,000	0.3444
27	15,000	0.3444
28	15,000	0.3444
29	15,000	0.3444
30	15,000	0.3444
31	15,000	0.3444
32	17,959	0.4123
33	14,435	0.3314
34	15,000	0.3444
35	15,000	0.3444
36	15,000	0.3444
37	14,999	0.3443
38	14,390	0.3303
39	14,650	0.3363
40	15,000	0.3444

LOT AREA TABLE

LOT #	AREA (SF)	AREA (AC)
41	15,000	0.3444
42	15,000	0.3444
43	15,000	0.3444
44	15,000	0.3444
45	9,100	0.2089
46	9,100	0.2089
47	9,064	0.2081
48	12,353	0.2836
49	19,200	0.4408
50	9,801	0.2250
51	8,450	0.1940
52	8,400	0.1928
53	8,450	0.1940
54	8,450	0.1940
55	8,450	0.1940
56	8,450	0.1940
57	8,450	0.1940
58	8,450	0.1940
59	8,450	0.1940
60	8,450	0.1940

LOT AREA TABLE

LOT #	AREA (SF)	AREA (AC)
61	8,450	0.1940
62	8,450	0.1940
63	8,450	0.1940
64	8,450	0.1940
65	8,200	0.1883
66	18,030	0.4139
67	14,855	0.3410
68	8,953	0.2055
69	9,100	0.2089
70	9,100	0.2089
71	9,100	0.2089
72	9,100	0.2089
73	8,400	0.1928
74	8,450	0.1940
75	8,450	0.1940
76	8,450	0.1940
77	8,450	0.1940
78	8,450	0.1940
79	8,450	0.1940
80	8,450	0.1940

LOT AREA TABLE

LOT #	AREA (SF)	AREA (AC)
81	8,450	0.1940
82	8,450	0.1940
83	8,450	0.1940
84	8,400	0.1928
85	8,400	0.1928
86	8,450	0.1940
87	8,450	0.1940
88	8,450	0.1940
89	8,450	0.1940
90	8,450	0.1940
91	8,450	0.1940
92	8,450	0.1940
93	8,450	0.1940
94	8,450	0.1940
95	8,450	0.1940
96	8,400	0.1928
97	15,350	0.3524
98	15,400	0.3535
99	11,900	0.2732
100	11,900	0.2732

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BRG
C61	35.54'	100.00'	20°21'51"	17.96'	35.36'	S10°30'06"E
C62	125.49'	55.00'	130°43'42"	119.93'	99.99'	S44°58'29"W
C63	37.32'	105.00'	20°21'51"	18.86'	37.12'	S79°50'36"E
C64	31.42'	20.00'	90°00'00"	20.00'	28.28'	N44°58'29"E
C65	31.42'	20.00'	90°00'00"	20.00'	28.28'	S45°01'31"E
C66	37.32'	105.00'	20°21'51"	18.86'	37.12'	N79°47'33"E
C67	125.49'	55.00'	130°43'42"	119.93'	99.99'	N45°01'31"W
C68	35.54'	100.00'	20°21'51"	17.96'	35.36'	N10°30'06"W
C69	136.90'	60.00'	130°43'42"	130.83'	109.08'	S44°40'49"W
C70	35.54'	100.00'	20°21'51"	17.96'	35.36'	S80°08'16"E
C71	35.54'	100.00'	20°21'51"	17.96'	35.36'	N79°29'54"E
C72	136.90'	60.00'	130°43'42"	130.83'	109.08'	N45°19'11"W
C73	35.54'	100.00'	20°21'51"	17.96'	35.36'	N10°30'06"W
C74	136.90'	60.00'	130°43'42"	130.83'	109.08'	S44°40'49"W
C75	35.54'	100.00'	20°21'51"	17.96'	35.36'	S80°08'16"E

LINE TABLE

LINE	BEARING	LENGTH
L1	S89°44'40"W	1.99'
L2	S00°01'31"E	39.31'

LOT AREA TABLE

LOT #	AREA (SF)	AREA (AC)
101	9,100	0.2089
102	9,100	0.2089
103	11,900	0.2732
104	9,100	0.2089
105	9,100	0.2089
106	9,088	0.2086
107	12,442	0.2856
108	12,443	0.2857
109	12,443	0.2857
110	12,443	0.2857
111	12,443	0.2857
112	12,443	0.2857
113	12,443	0.2857
114	12,443	0.2857
115	12,393	0.2845
116	9,100	0.2089
117	11,900	0.2732
118	11,900	0.2732
119	12,241	0.2810
120	23,954	0.5499

LOT AREA TABLE

LOT #	AREA (SF)	AREA (AC)
121	14,383	0.3302
122	11,900	0.2732
123	11,900	0.2732
124	11,900	0.2732
125	11,900	0.2732
126	11,900	0.2732
127	11,900	0.2732
128	11,900	0.2732
129	11,900	0.2732
130	11,850	0.2720
131	11,900	0.2732
132	12,941	0.2971
133	24,754	0.5683
134	13,764	0.3160
135	11,857	0.2722
136	11,900	0.2732
137	11,900	0.2732
138	11,900	0.2732
139	11,900	0.2732
140	11,900	0.2732

LOT AREA TABLE

LOT #	AREA (SF)	AREA (AC)
141	11,900	0.2732
142	11,900	0.2732
143	11,637	0.2671
144	14,355	0.3296
145	11,675	0.2680
146	11,645	0.2673
147	11,900	0.2732
148	11,900	0.2732
149	11,900	0.2732
150	11,887	0.2729
151	11,850	0.2720
152	11,900	0.2732
153	11,900	0.2732
154	11,900	0.2732
155	11,900	0.2732
156	11,900	0.2732

TRACT USE TABLE

TRACT	USE	AREA (SF)	AREA (AC)
A	LANDSCAPE/OPEN SPACE	373	0.0086
AA	LANDSCAPE/OPEN SPACE	2,500	0.0574
B	LANDSCAPE/OPEN SPACE	764	0.0175
BB	LANDSCAPE/OPEN SPACE	25,778	0.5918
C	LANDSCAPE/OPEN SPACE	129	0.0030
CC	LANDSCAPE/OPEN SPACE	86,474	1.9852
D	LANDSCAPE/OPEN SPACE	5,378	0.1235
DD	LANDSCAPE/OPEN SPACE	2,500	0.0574
E	LANDSCAPE/OPEN SPACE	214,822	4.9316
F	LANDSCAPE/OPEN SPACE	81,376	1.8681
G	LANDSCAPE/OPEN SPACE	98,422	2.2595
H	LANDSCAPE/OPEN SPACE	9,048	0.2077
I	LANDSCAPE/OPEN SPACE	5,960	0.1368
J	LANDSCAPE/OPEN SPACE	2,500	0.0574
K	LANDSCAPE/OPEN SPACE	373	0.0086
L	LANDSCAPE/OPEN SPACE	5,378	0.1235
M	LANDSCAPE/OPEN SPACE	2,300	0.0528
N	LANDSCAPE/OPEN SPACE	93,910	2.1559
O	LANDSCAPE/OPEN SPACE	[illegible]	[illegible]

TRACT USE TABLE

TRACT	USE	AREA (SF)	AREA (AC)
PS1	PRIVATE STREETS	154,954	3.5573
Q	LANDSCAPE/OPEN SPACE	373	0.0086
R	LANDSCAPE/OPEN SPACE	25,778	0.5918
S	LANDSCAPE/OPEN SPACE	2,300	0.0528
T	LANDSCAPE/OPEN SPACE	11,333	0.2602
U	LANDSCAPE/OPEN SPACE	508	0.0117
V	LANDSCAPE/OPEN SPACE	979	0.0225
W	LANDSCAPE/OPEN SPACE	3,825	0.0878
X	LANDSCAPE/OPEN SPACE	13,235	0.3038
Y	LANDSCAPE/OPEN SPACE	2,387	0.0548
Z	LANDSCAPE/OPEN SPACE	125	0.0029

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GILBERT, ARIZONA
FINAL PLAT

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Drawn by: JB

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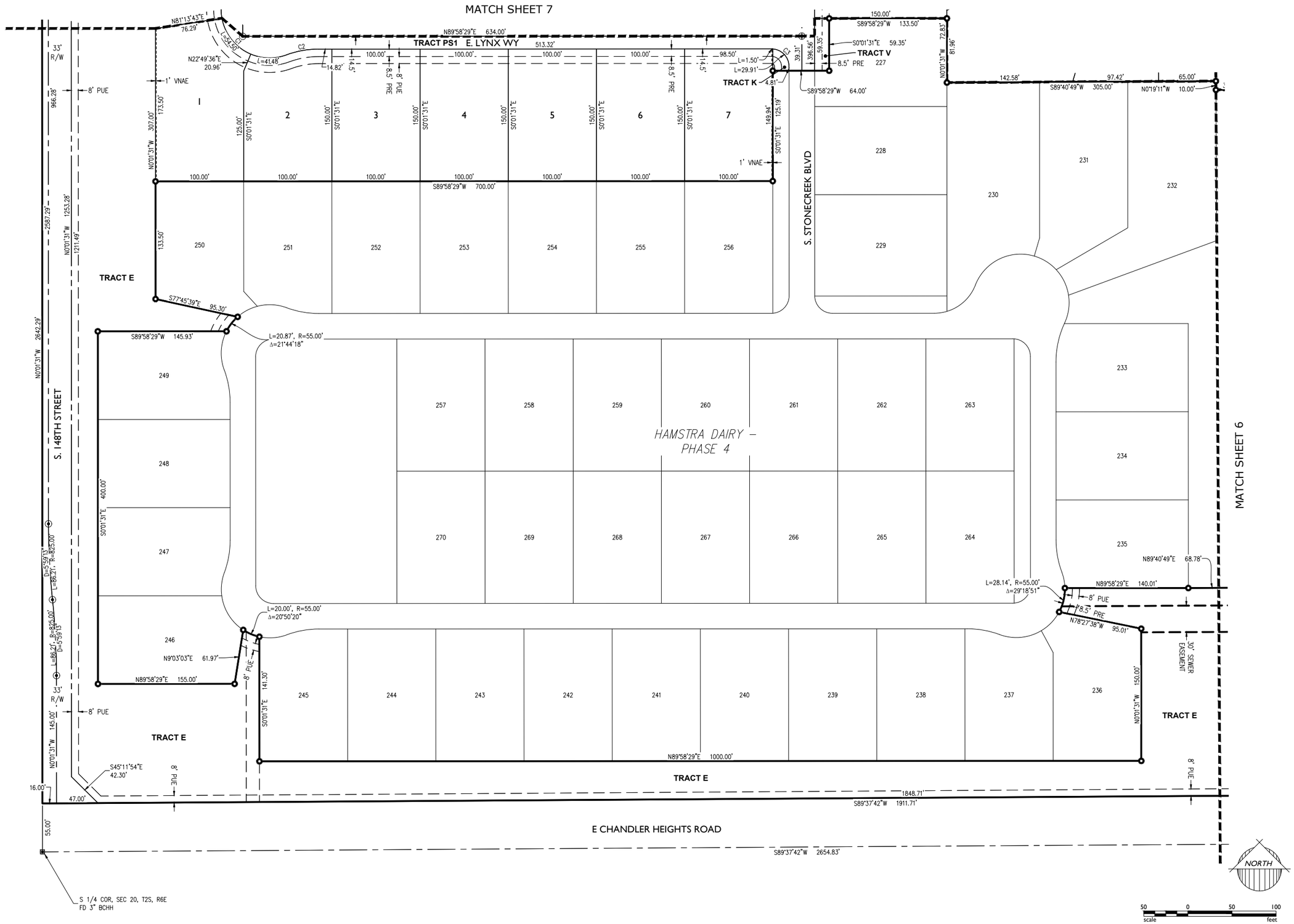

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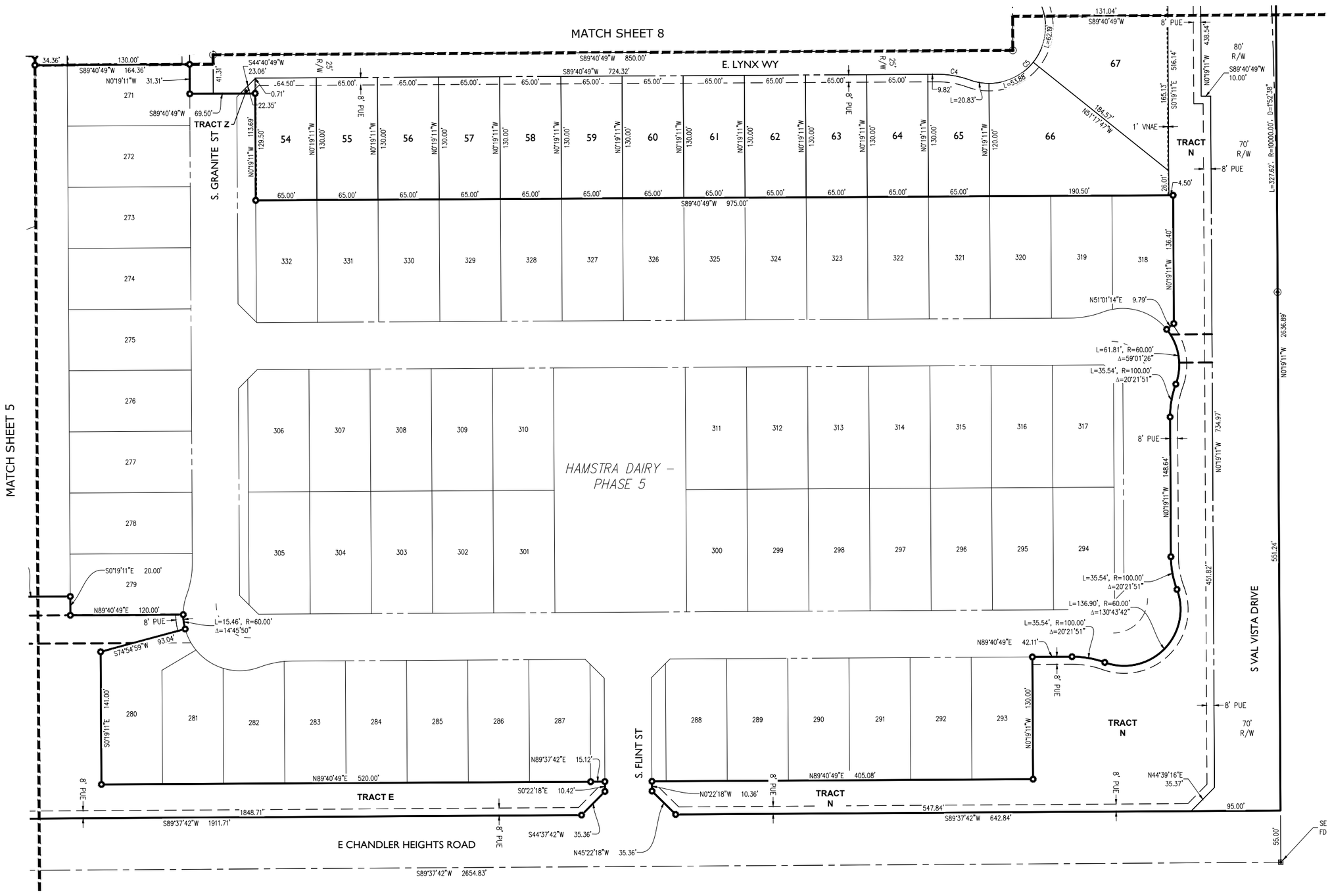

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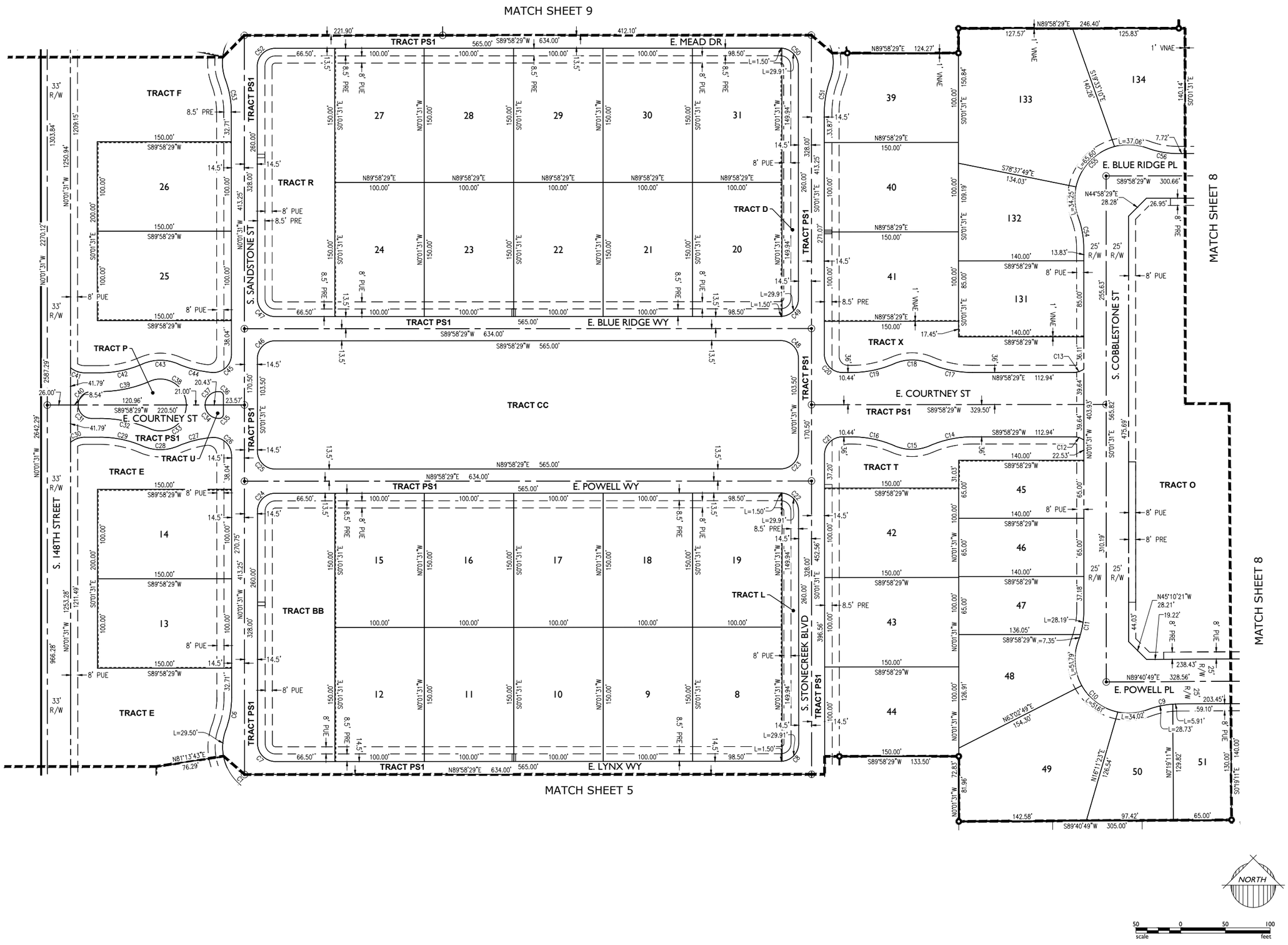

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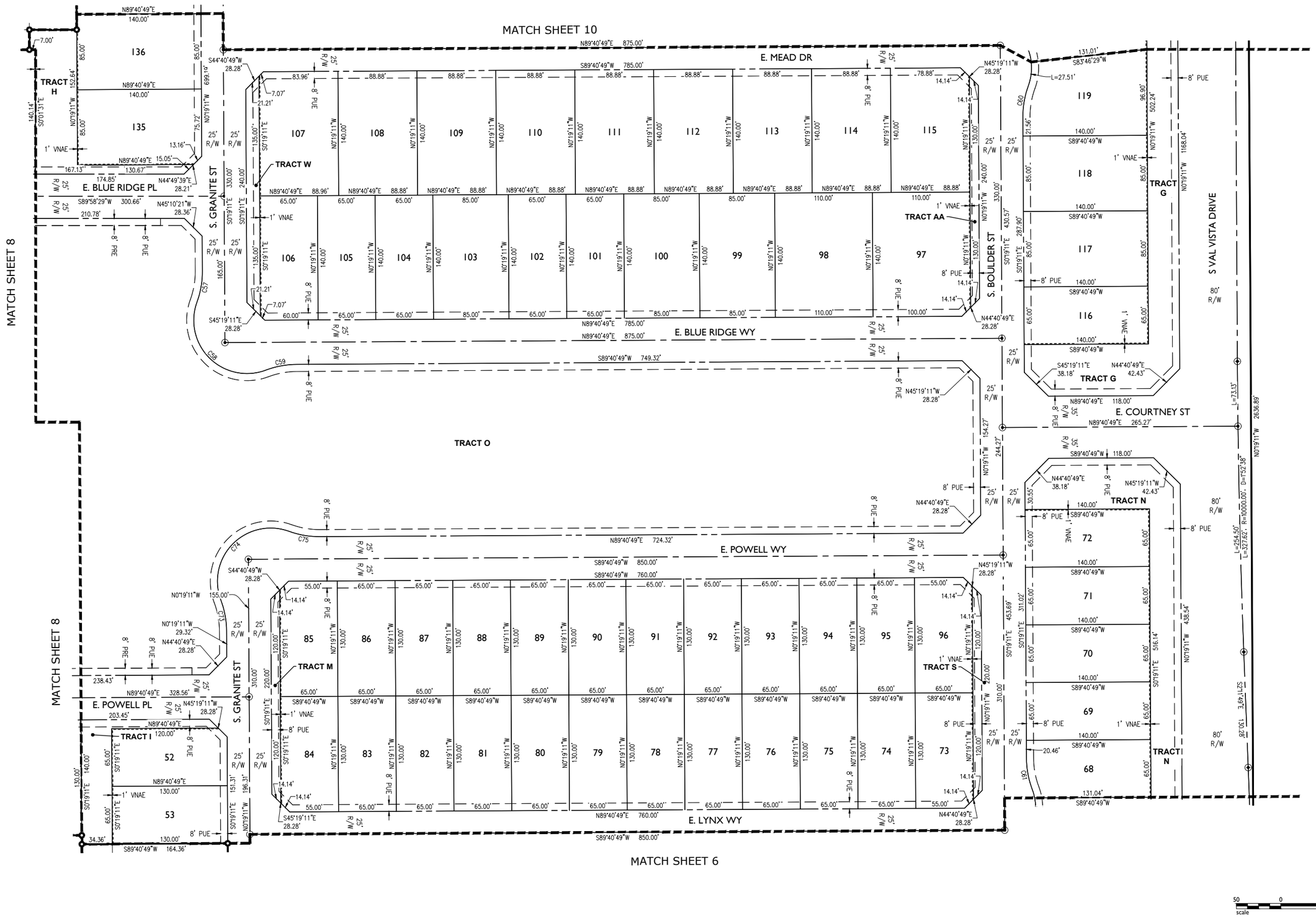

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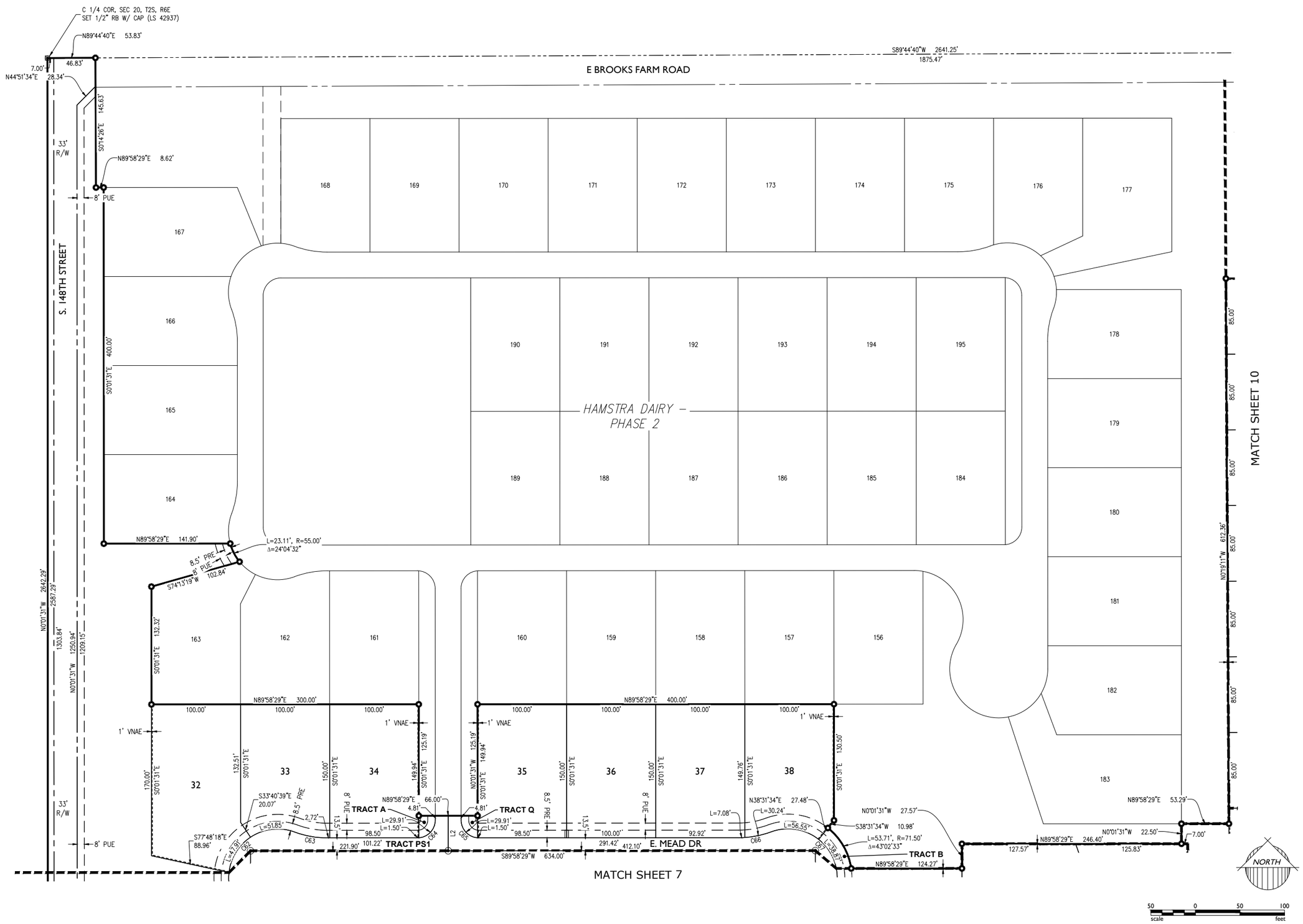

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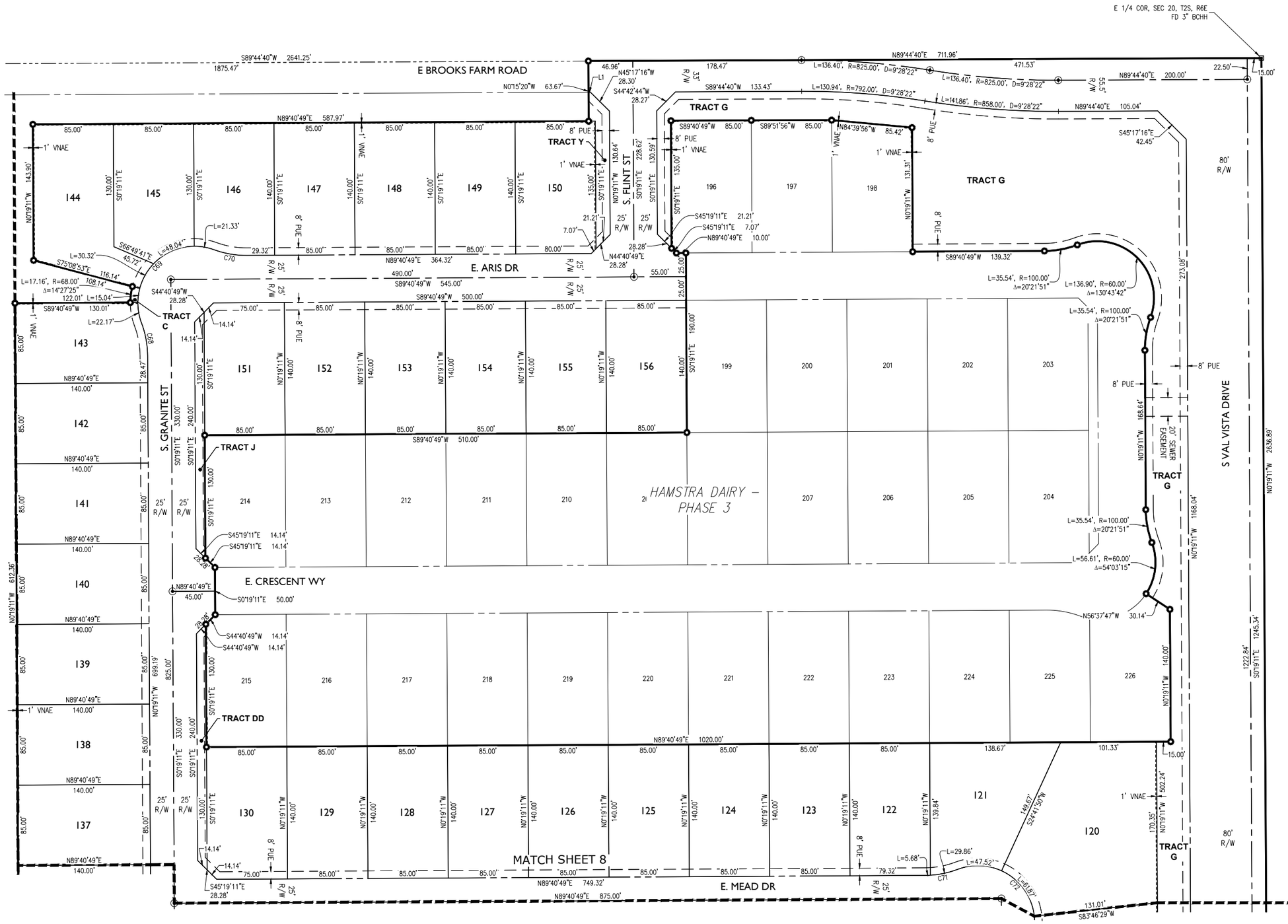

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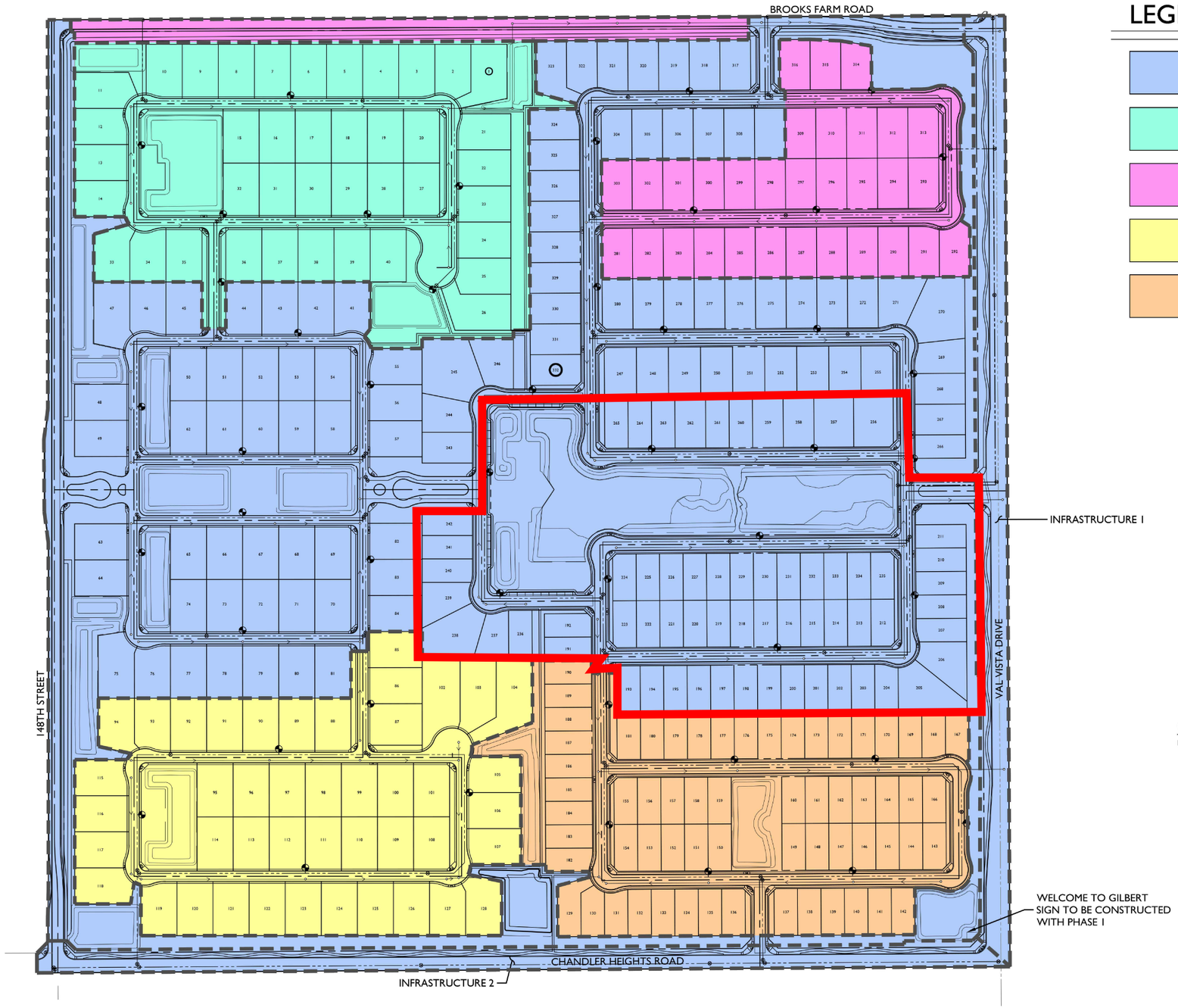

LEGEND

- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4
- PHASE 5

GRADING NOTE

RETENTION BASINS SHALL BE MASS GRADED WITH PHASE 1

NORTH

150 0 150 300
scale feet

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CHANDLER HEIGHTS AND VAL VISTA
GILBERT, AZ

PHASING PLAN (MASTER)

Revisions:
OCTOBER 30, 2017 - 1ST PRELIMINARY PLAT SUB
FEBRUARY 6, 2018 - 2ND PRELIMINARY PLAT SUB
MARCH 19, 2018 - 3RD PRELIMINARY PLAT SUB
APRIL 11, 2018 - 4TH PRELIMINARY PLAT SUB

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Designer: JH
Drawn by: JAJ

Registered Professional Engineer (Civil)
CERTIFICATE NO. 44744
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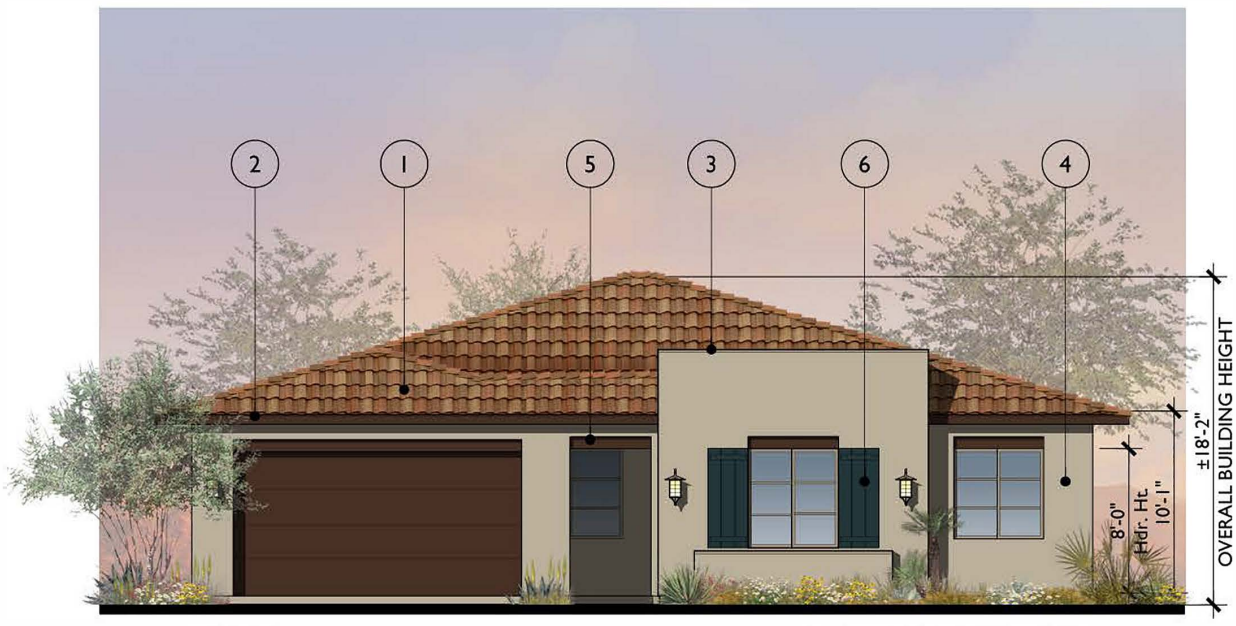

FRONT

A - MODERN HACIENDA

1/4"=1'-0"

MATERIALS LEGEND:

1. CONCRETE 'S' TILE ROOF
2. WOOD FASCIA AT EAVE
3. METAL FLASHING
4. STUCCO
5. STUCCO RECESS
6. DECORATIVE SHUTTER

REAR

LEFT

RIGHT

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PLAN 50-1A

Modern Hacienda Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

ST18-11 Hamstra Dairy
Attachment 4: Plan 50-1 - Elevations (9 pages)
December 5, 2018

08.27.18

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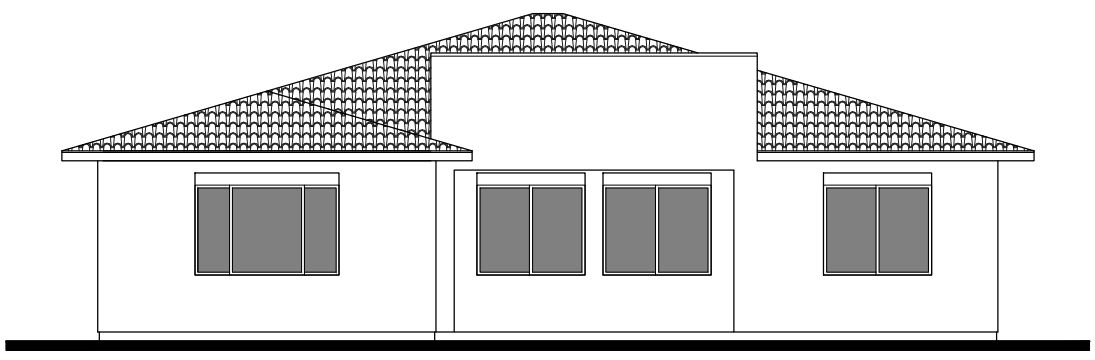

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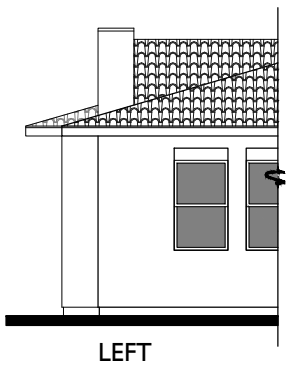

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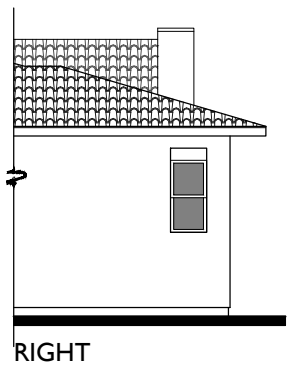

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PLAN 50-1A - OPT. EXTENDED MASTER BEDROOM

Modern Hacienda Elevation

HAMSTRA - 50' PRODUCT

08.27.18

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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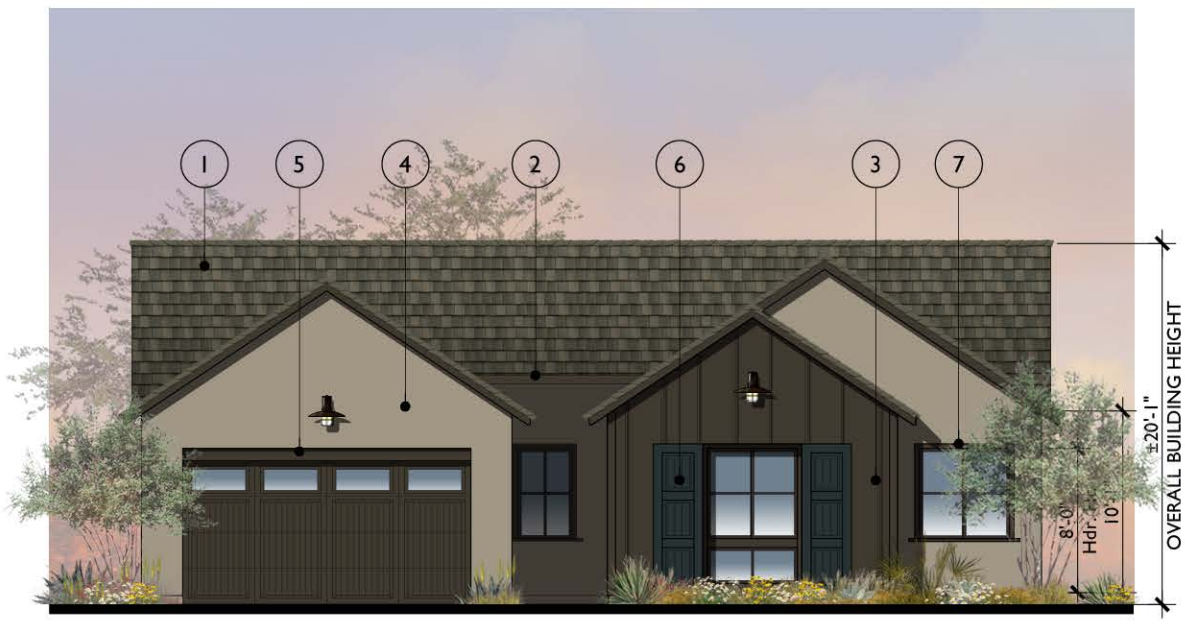


FRONT

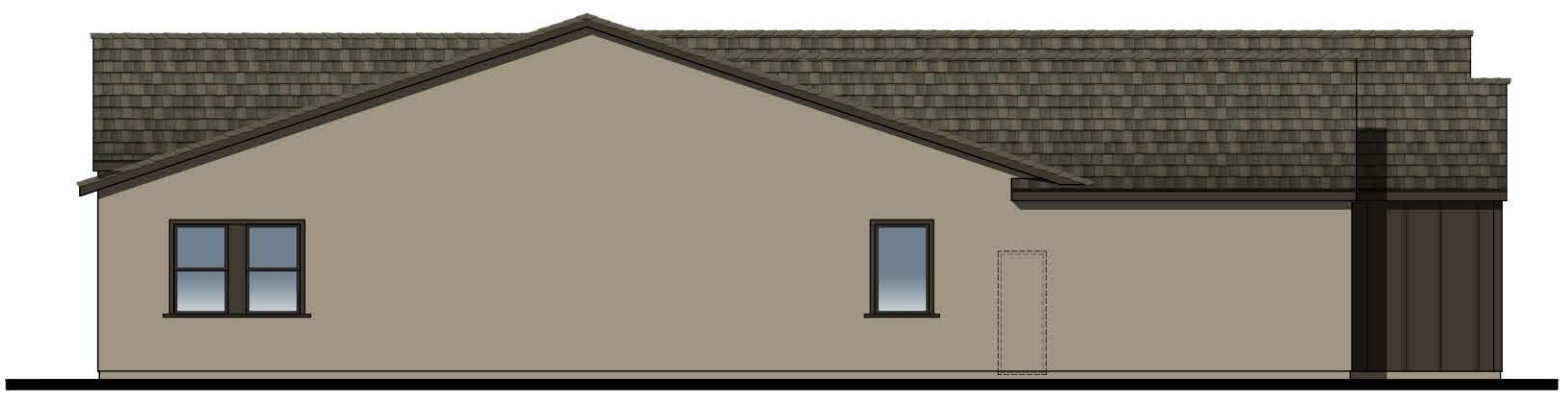
B - MODERN FARMHOUSE

1/4"=1'-0"

MATERIALS LEGEND:

1. CONCRETE FLAT TILE ROOF
2. WOOD FASCIA
3. BOARD AND BATTEN SIDING
4. STUCCO
5. STUCCO RECESS
6. DECORATIVE SHUTTER
7. STUCCO OVER FOAM TRIM

REAR



LEFT

RIGHT

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PLAN 50-1B

Modern Farmhouse Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

08.27.18

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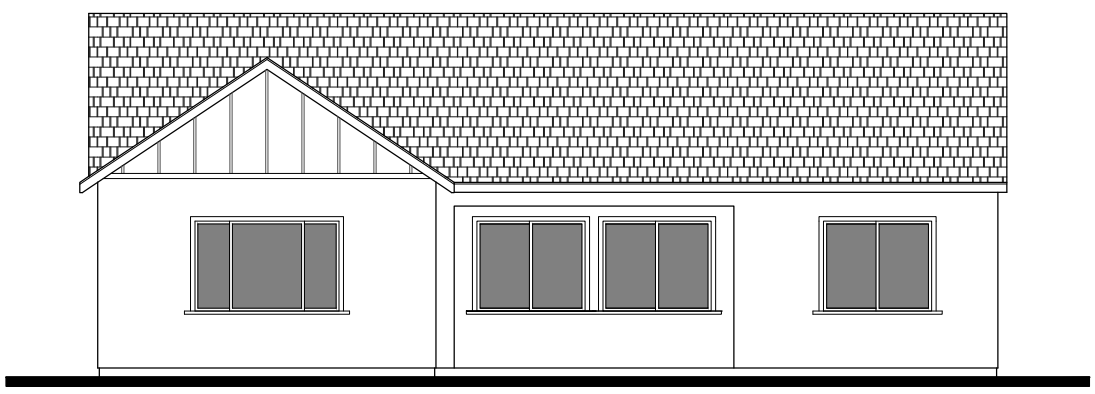

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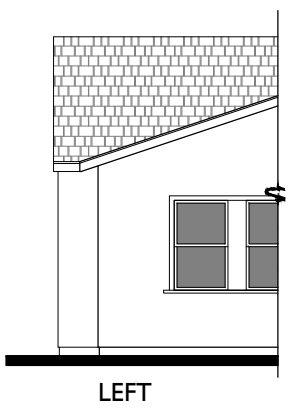

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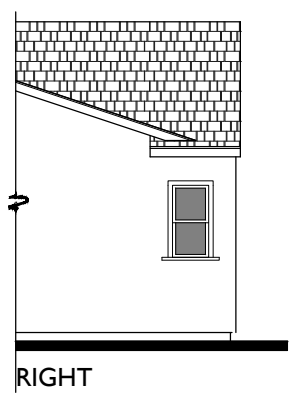

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PLAN 50-1B - OPT. EXTENDED MASTER BEDROOM

Modern Farmhouse Elevation

HAMSTRA - 50' PRODUCT

08.27.18

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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KINER
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Exp. 06/30/19

MATERIALS LEGEND:

1. CONCRETE FLAT TILE ROOF
2. WOOD FASCIA AT EAVE
3. V-GROOVE HARDIE PANEL
4. STUCCO
5. STUCCO RECESS
6. STUCCO OVER FOAM TRIM
7. 2" FOAM VENEER

FRONT

C - MODERN DESERT

1/4"=1'-0"

REAR

LEFT

RIGHT

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PLAN 50-1C

Modern Desert Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

08.27.18

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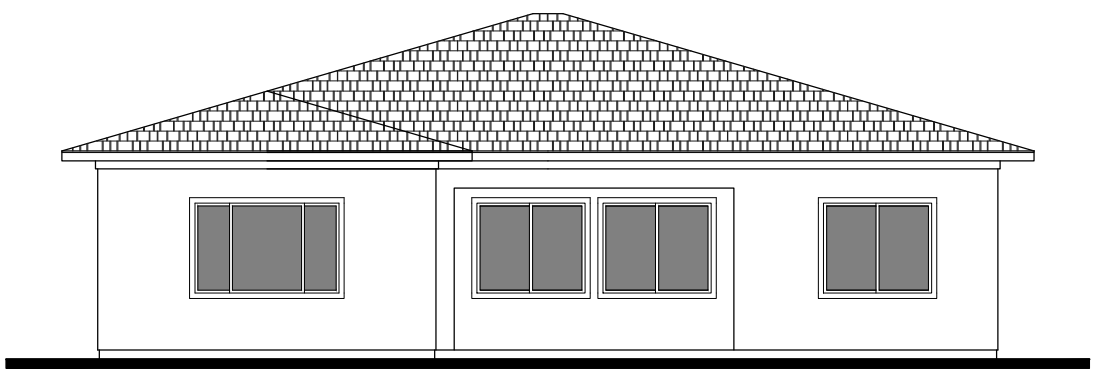

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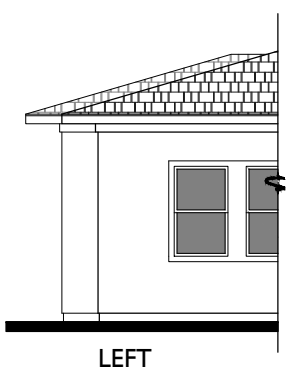

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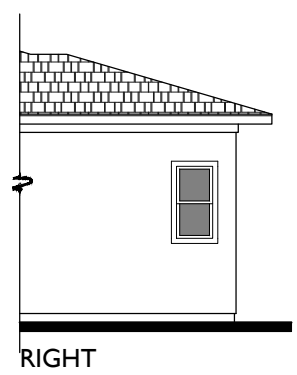

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PLAN 50-1C - OPT. EXTENDED MASTER BEDROOM

Modern Desert Elevation

HAMSTRA - 50' PRODUCT

08.27.18

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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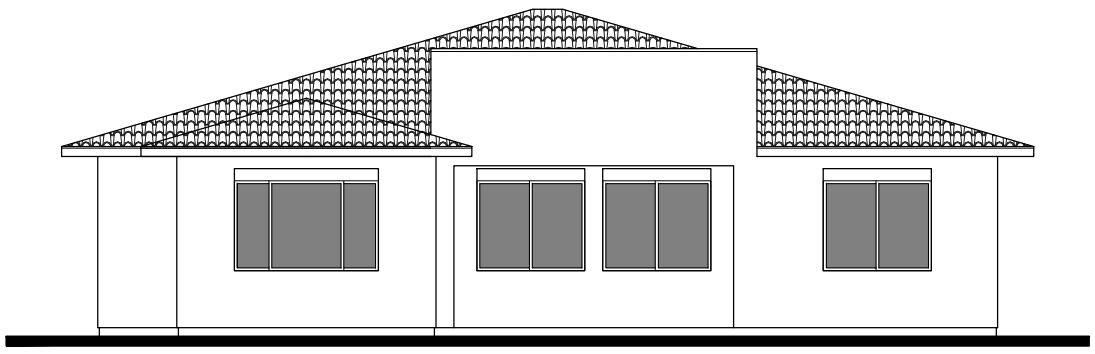

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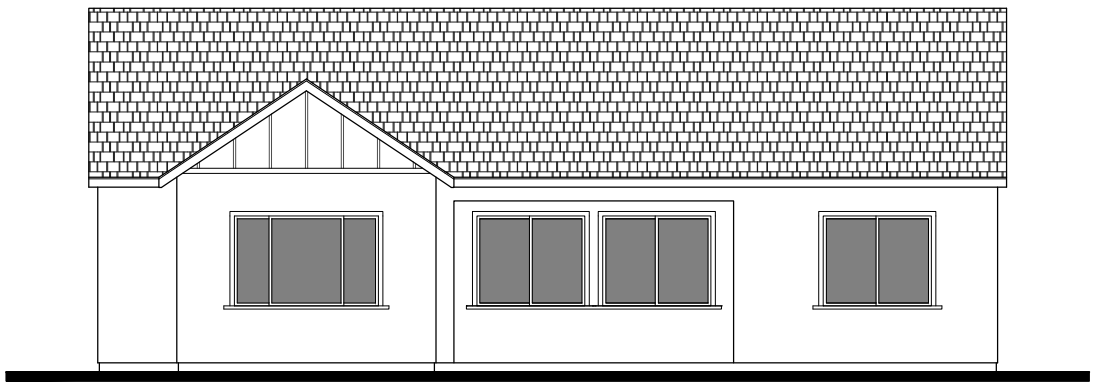

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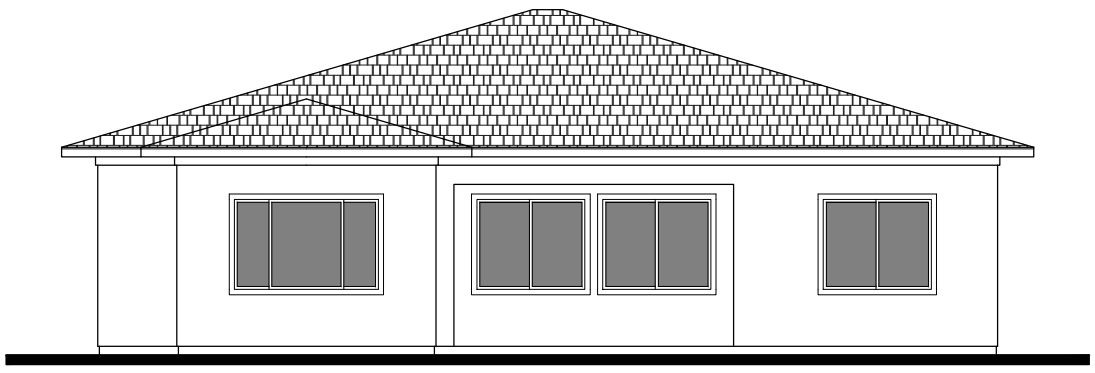

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PLAN 50-1 - OPT. BOX BAY MASTER BEDROOM

HAMSTRA - 50' PRODUCT

08.27.18

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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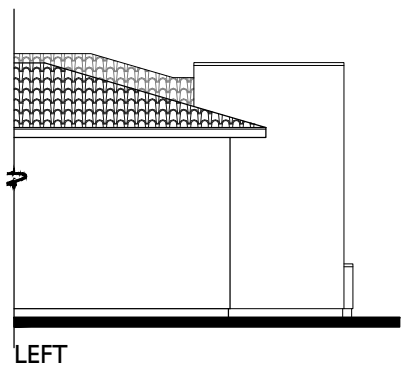

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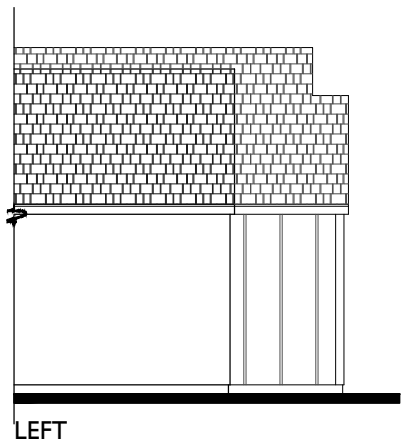

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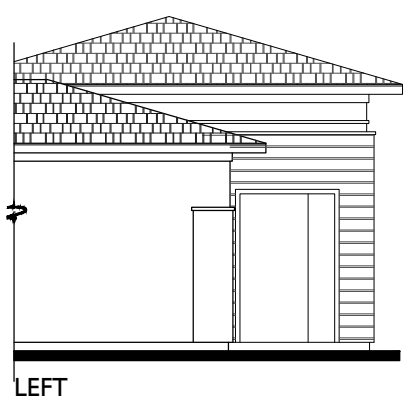

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PLAN 50-1 - OPT. EXTENDED GARAGE

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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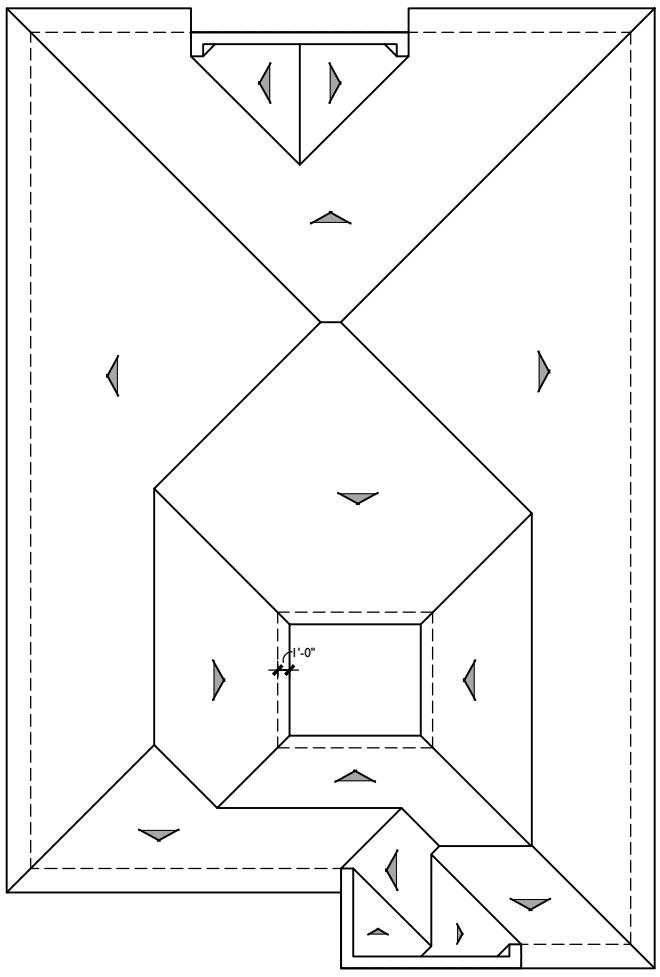
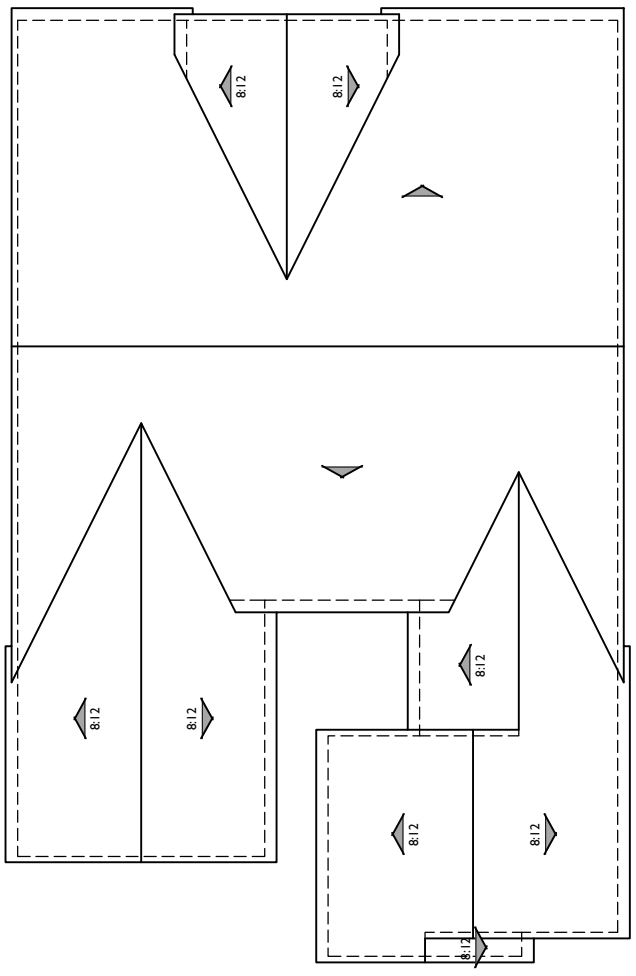


ROOF PLAN A

1/8"=1'-0"

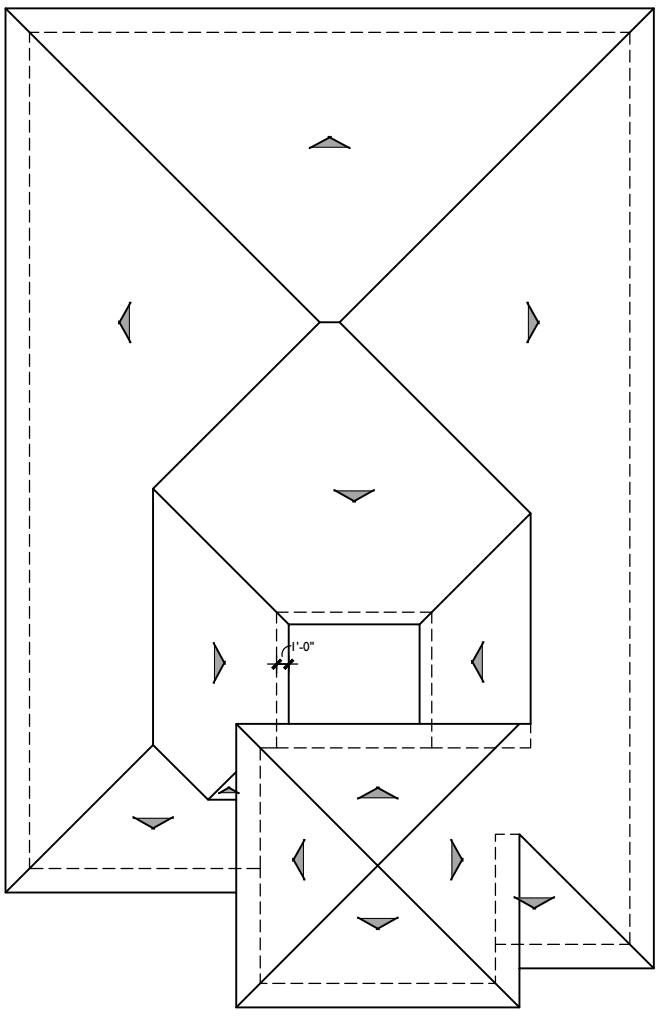
PITCH: 3.5:12 U.N.O.
RAKE: 6"
EAVE: 18"
ROOF MATERIAL: CONCRETE 'S' TILE



ROOF PLAN B

1/8"=1'-0"

PITCH: 4:12 U.N.O.
RAKE: 6"
EAVE: 12"
ROOF MATERIAL: CONCRETE FLAT TILE



ROOF PLAN C

1/8"=1'-0"

PITCH: 3.5:12
RAKE: N/A
EAVE: 24"
ROOF MATERIAL: CONCRETE FLAT TILE

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PLAN 50-1

Roof Plans

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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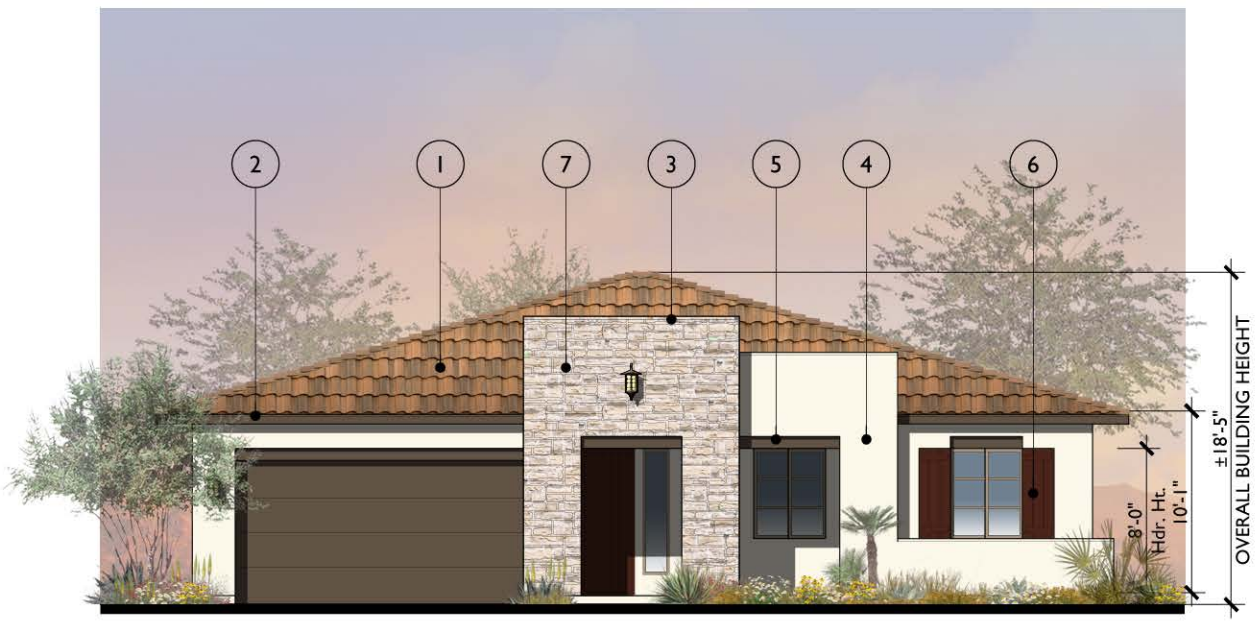

FRONT

A - MODERN HACIENDA

1/4"=1'-0"

MATERIALS LEGEND:

1. CONCRETE 'S' TILE ROOF
2. WOOD FASCIA AT EAVE
3. METAL FLASHING
4. STUCCO
5. STUCCO RECESS
6. DECORATIVE SHUTTER
7. STONE VENEER

REAR

LEFT

RIGHT

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PLAN 50-2A
Modern Hacienda Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

ST18-11 Hamstra Dairy
Attachment 5: Plan 50-2 - Elevations
(8 pages)
December 5, 2018

08.27.18

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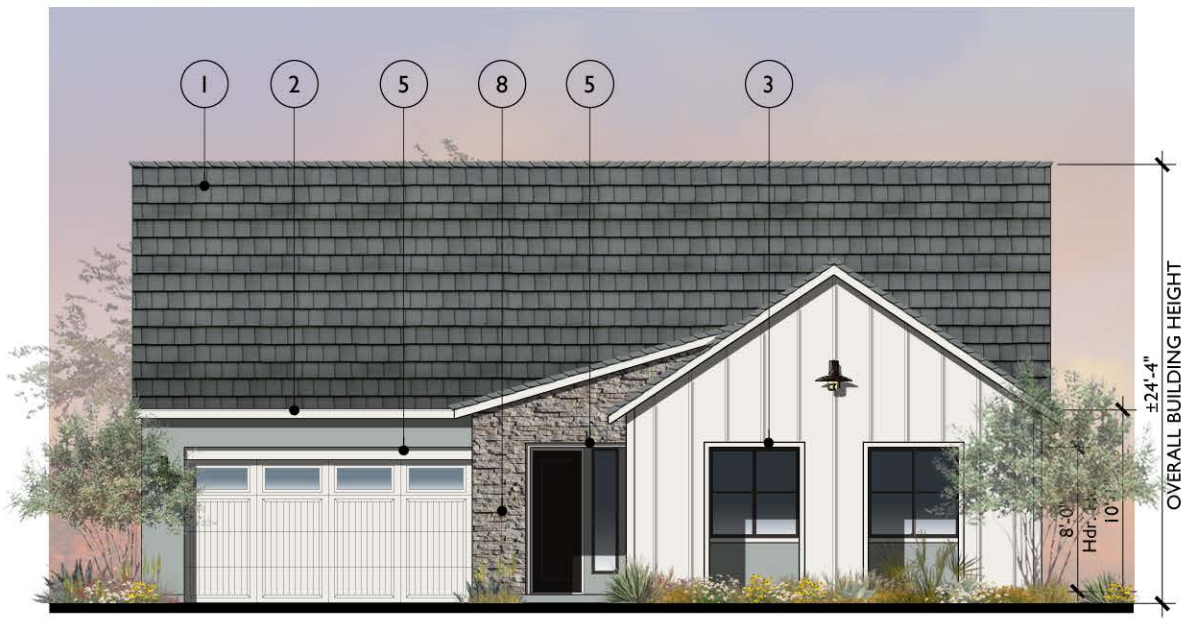


FRONT

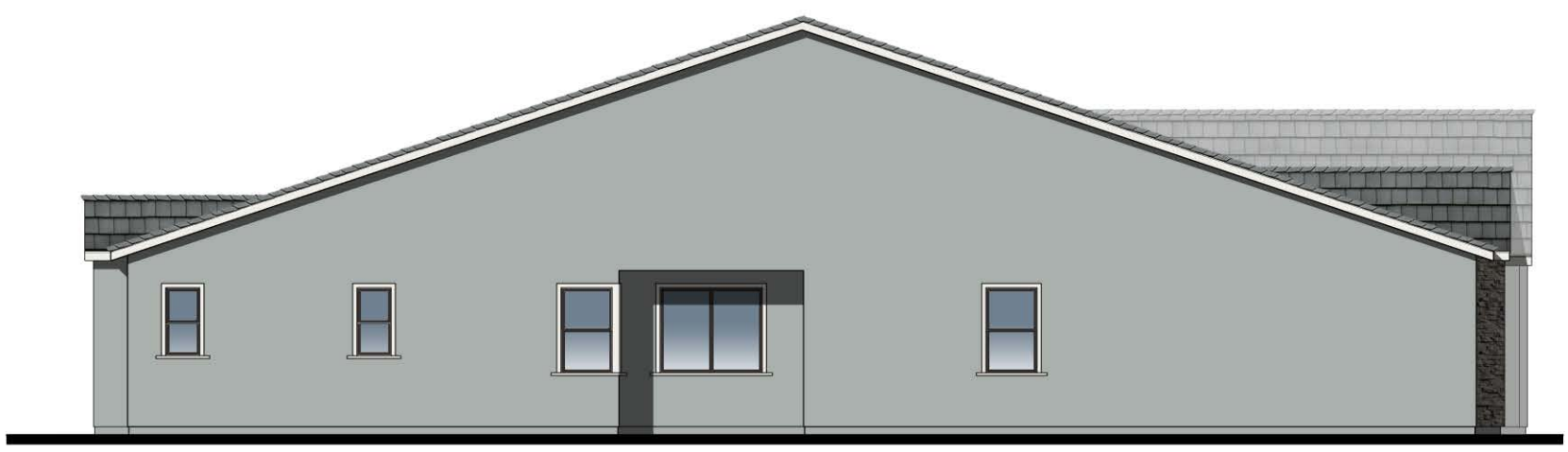
B - MODERN FARMHOUSE

1/4"=1'-0"

MATERIALS LEGEND:

1. CONCRETE FLAT TILE ROOF
2. WOOD FASCIA
3. BOARD AND BATTEN SIDING
4. STUCCO
5. STUCCO RECESS
6. DECORATIVE SHUTTER
7. STUCCO OVER FOAM TRIM
8. STONE VENEER

REAR



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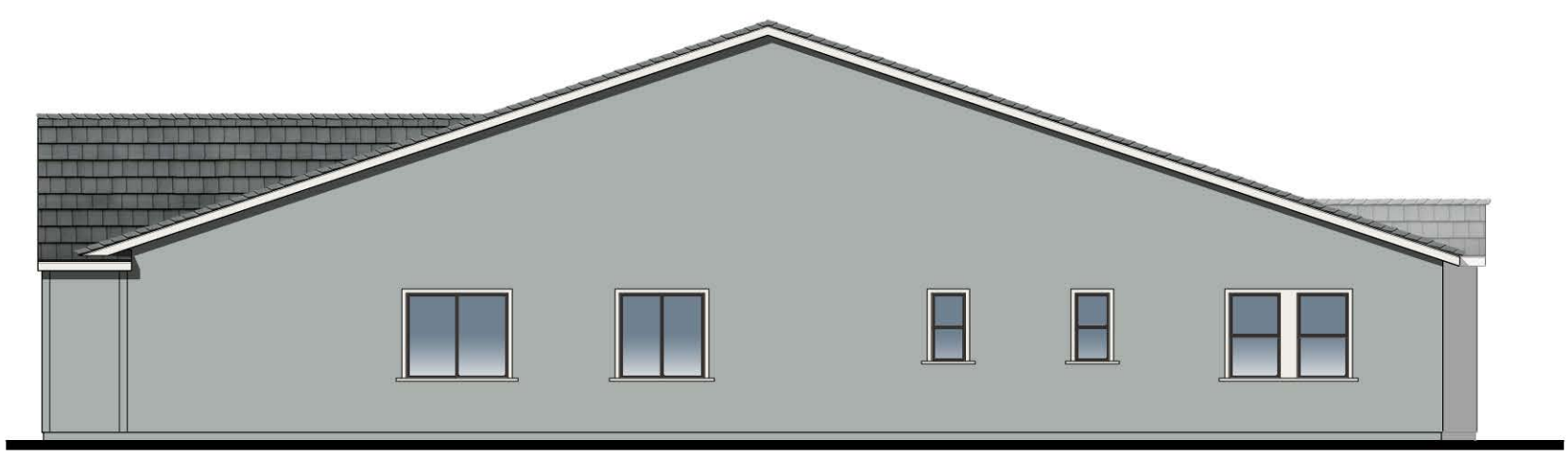

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PLAN 50-2B

Modern Farmhouse Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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FRONT

C - MODERN DESERT
1/4"=1'-0"

MATERIALS LEGEND:

1. CONCRETE FLAT TILE ROOF
2. WOOD FASCIA AT EAVE
3. V-GROOVE HARDIE PANEL
4. STUCCO
5. STUCCO RECESS
6. STUCCO OVER FOAM TRIM
7. 2" FOAM VENEER

REAR

LEFT

RIGHT

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PLAN 50-2C

Modern Desert Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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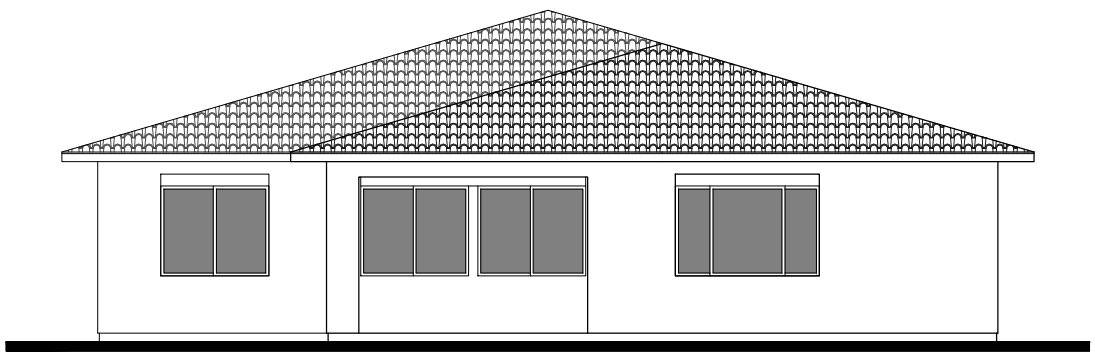

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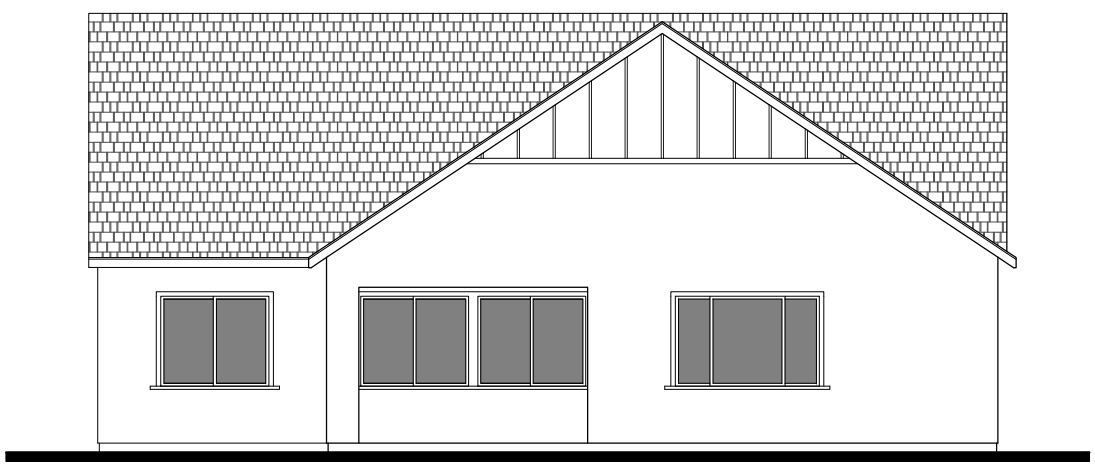

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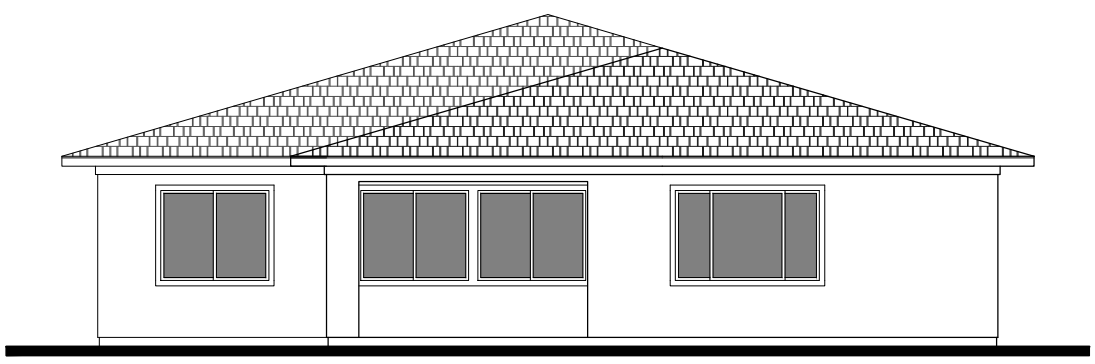

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PLAN 50-2 - OPT. EXTENDED MASTER BEDROOM

HAMSTRA - 50' PRODUCT

08.27.18

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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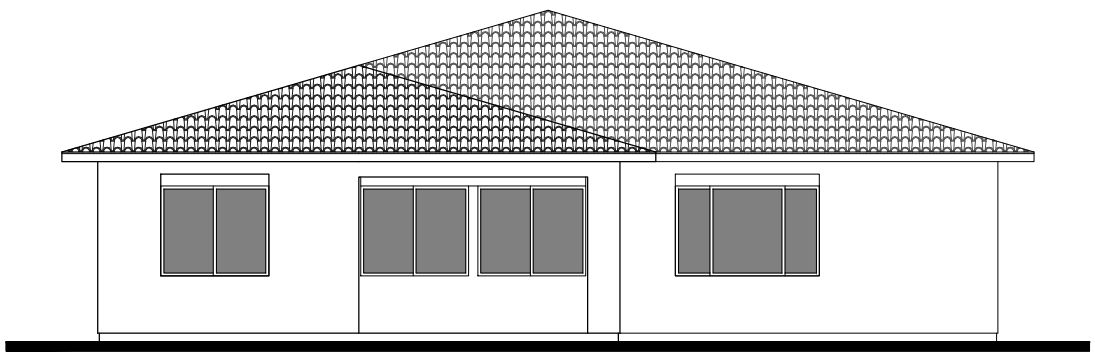

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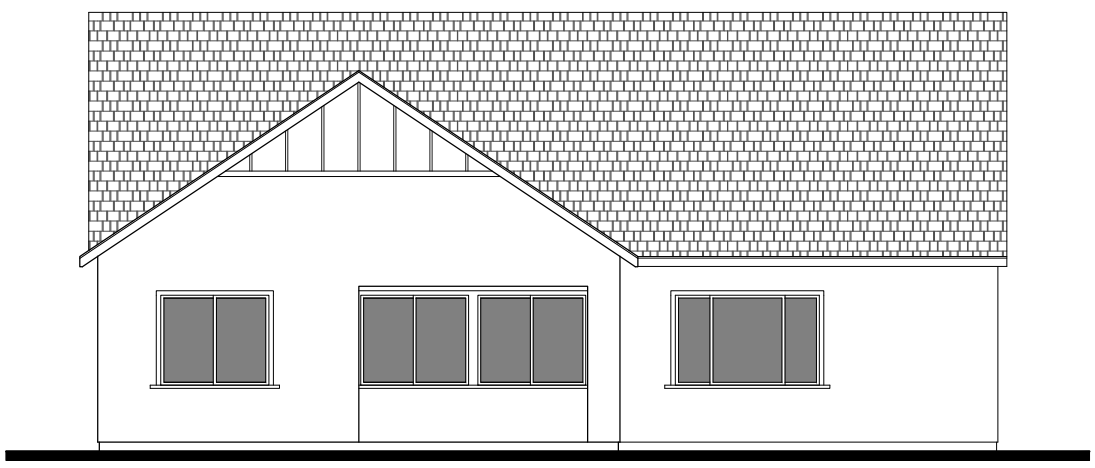

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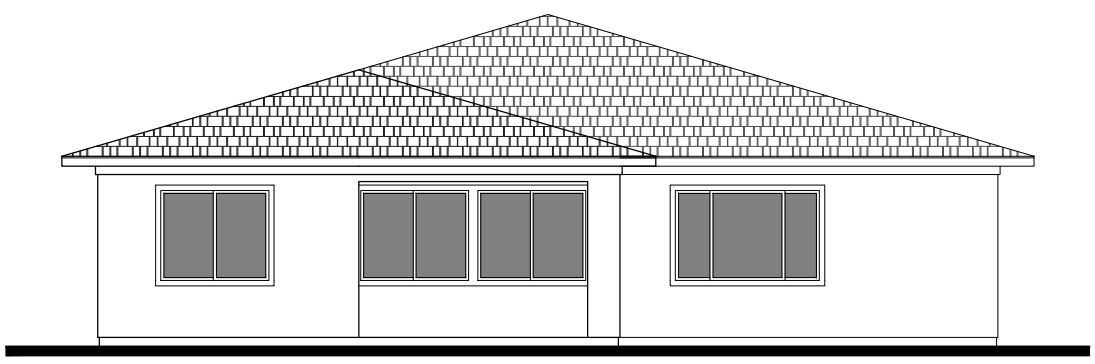

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PLAN 50-2 - OPT. EXTENDED NOOK

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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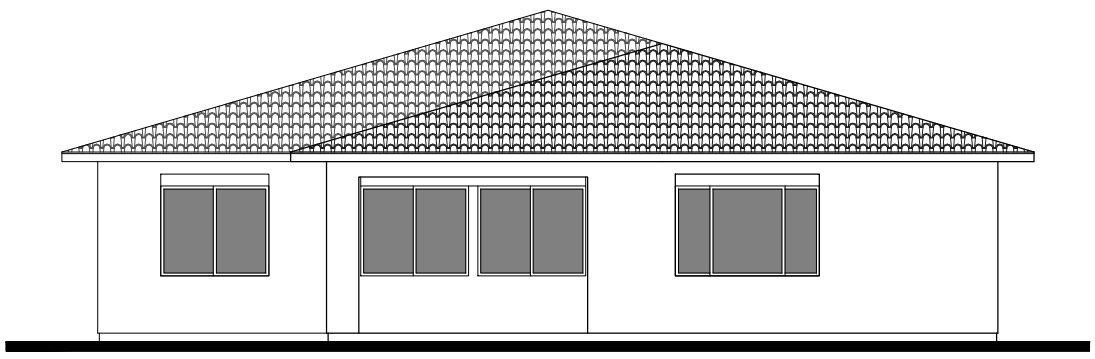

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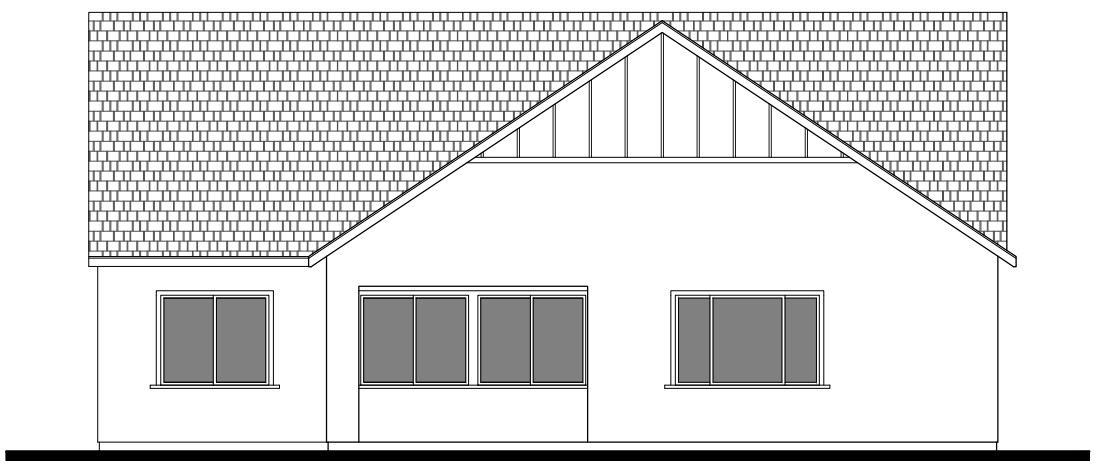

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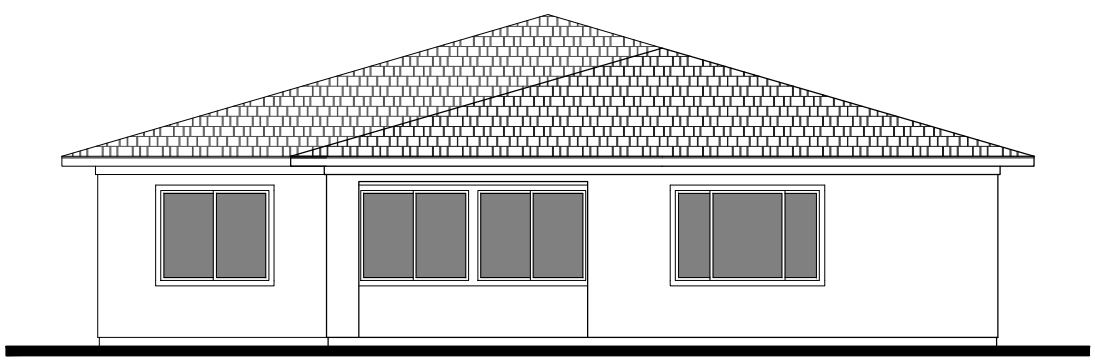

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PLAN 50-2 - OPT. EXTENDED MASTER BEDROOM

HAMSTRA - 50' PRODUCT

08.27.18

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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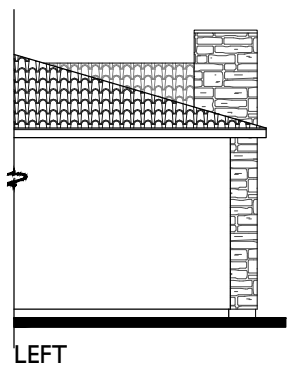

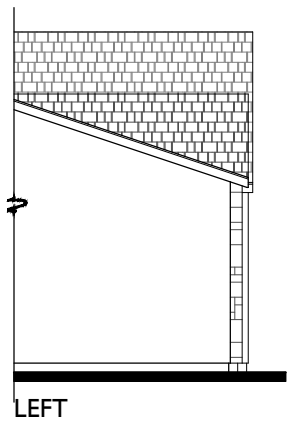

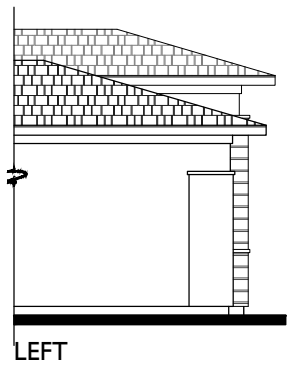

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PLAN 50-2 - OPT. EXTENDED GARAGE

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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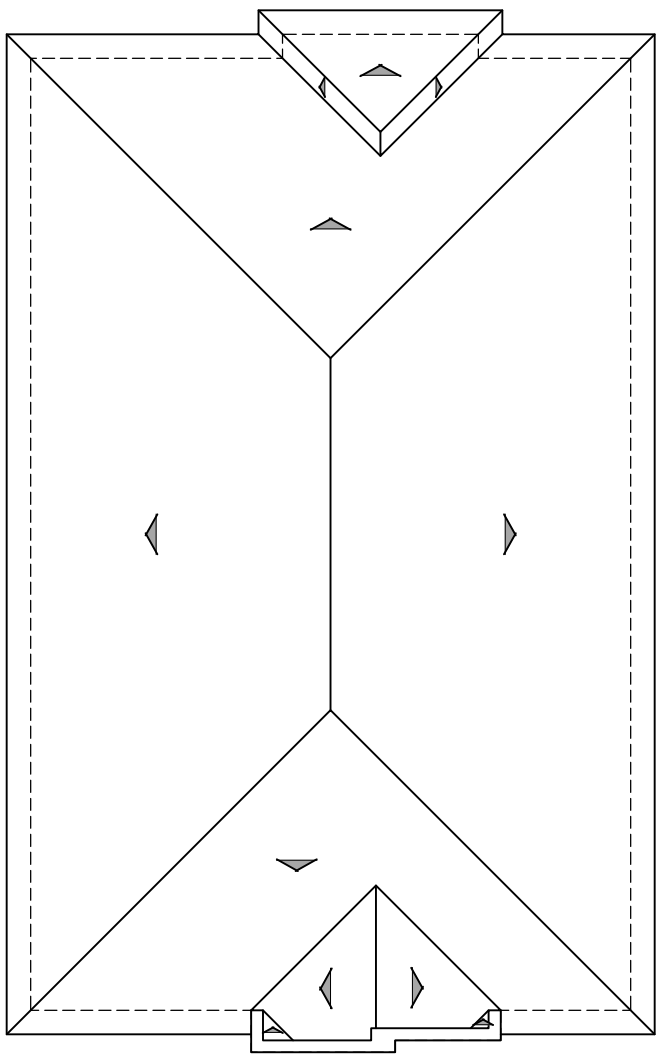
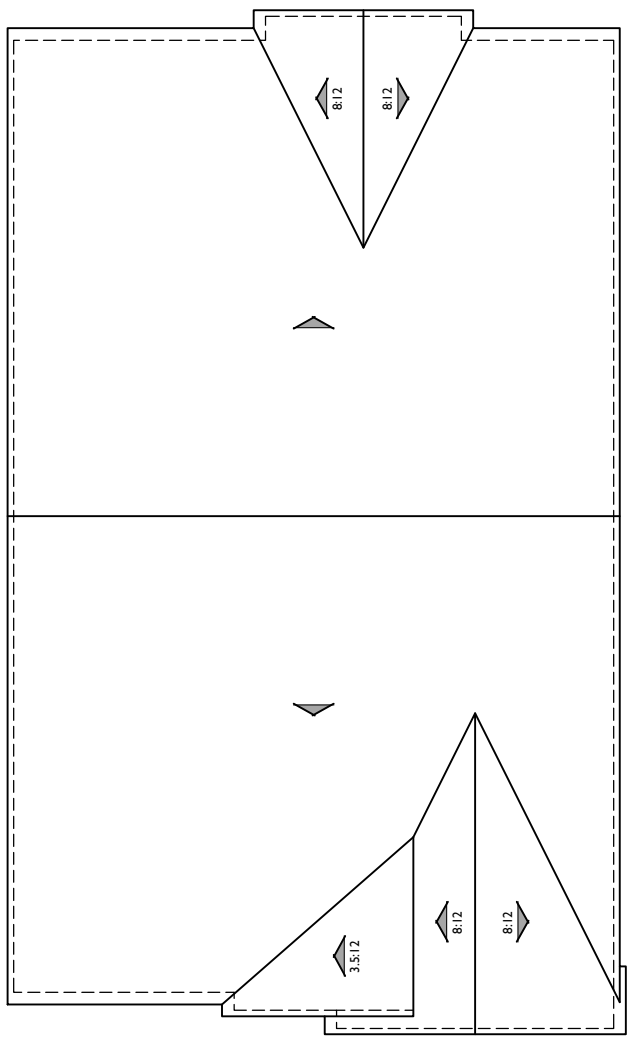


ROOF PLAN A

1/8"=1'-0"

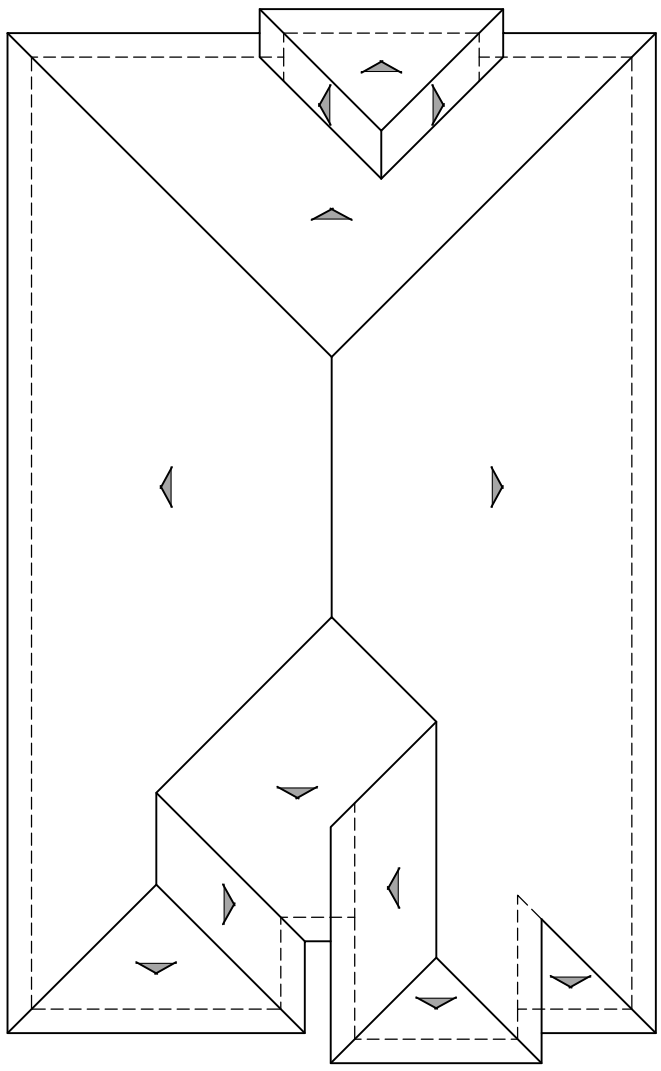
PITCH: 3.5:12 U.N.O.
RAKE: 6"
EAVE: 18"
ROOF MATERIAL: CONCRETE 'S' TILE



ROOF PLAN B

1/8"=1'-0"

PITCH: 4:12 U.N.O.
RAKE: 6"
EAVE: 12"
ROOF MATERIAL: CONCRETE FLAT TILE



ROOF PLAN C

1/8"=1'-0"

PITCH: 3.5:12
RAKE: N/A
EAVE: 24"
ROOF MATERIAL: CONCRETE FLAT TILE

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PLAN 50-2

Roof Plans

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

08.27.18

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FRONT

A - MODERN HACIENDA

1/4"=1'-0"

MATERIALS LEGEND:

1. CONCRETE 'S' TILE ROOF
2. WOOD FASCIA AT EAVE
3. METAL FLASHING
4. STUCCO
5. STUCCO RECESS
6. DECORATIVE SHUTTER
7. STONE VENEER

REAR

LEFT

RIGHT

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PLAN 50-3A

Modern Hacienda Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

ST18-11 Hamstra Dairy
Attachment 6: Plan 50-3 - Elevations (11 pages)
December 5, 2018

08.27.18

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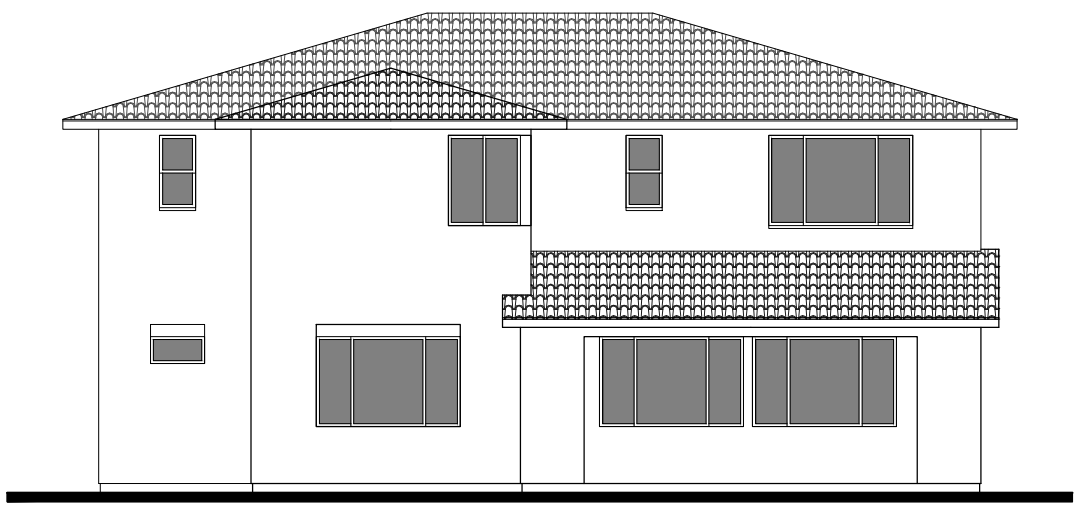

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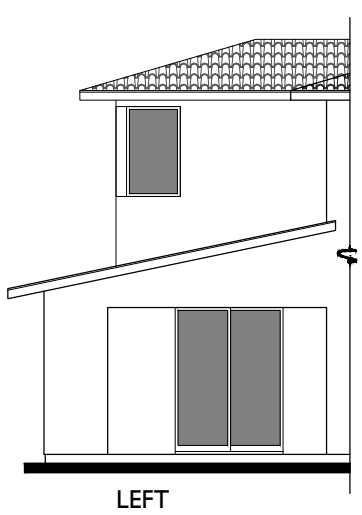

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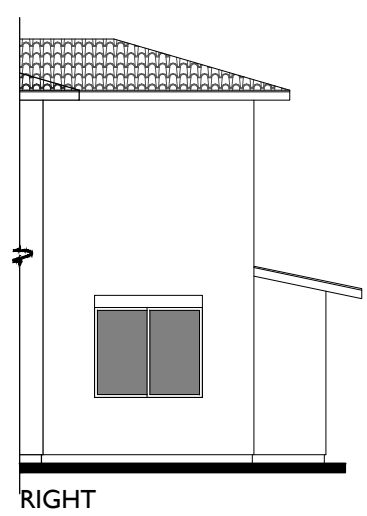

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PLAN 50-3A - OPT. EXTENDED COVERED PATIO

Modern Hacienda Elevation

HAMSTRA - 50' PRODUCT

08.27.18

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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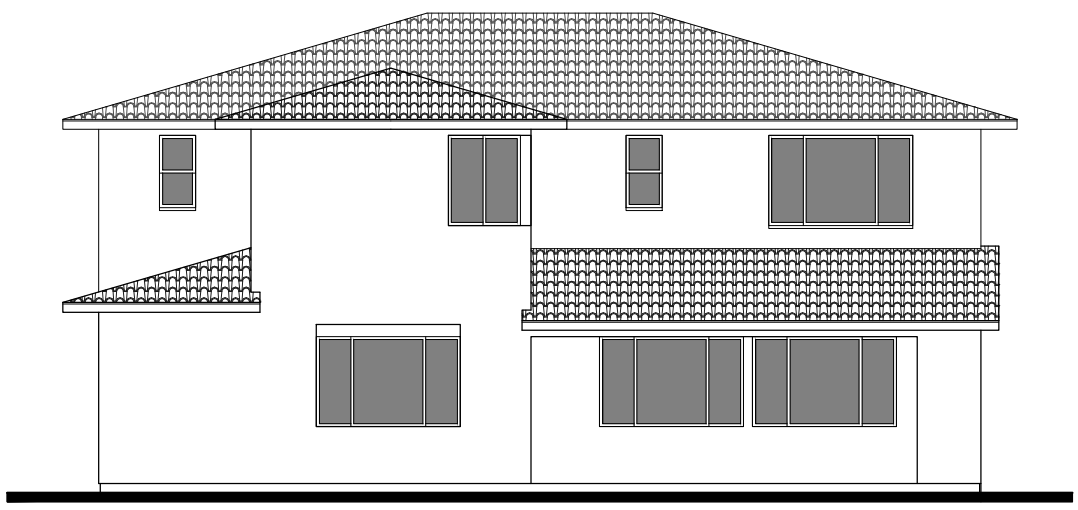

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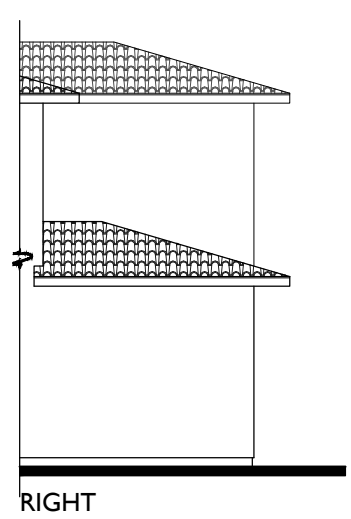

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PLAN 50-3A - OPT. WINE CLOSET

Modern Hacienda Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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FRONT

B - MODERN FARMHOUSE

1/4"=1'-0"

REAR

LEFT

RIGHT

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PLAN 50-3B

Modern Farmhouse Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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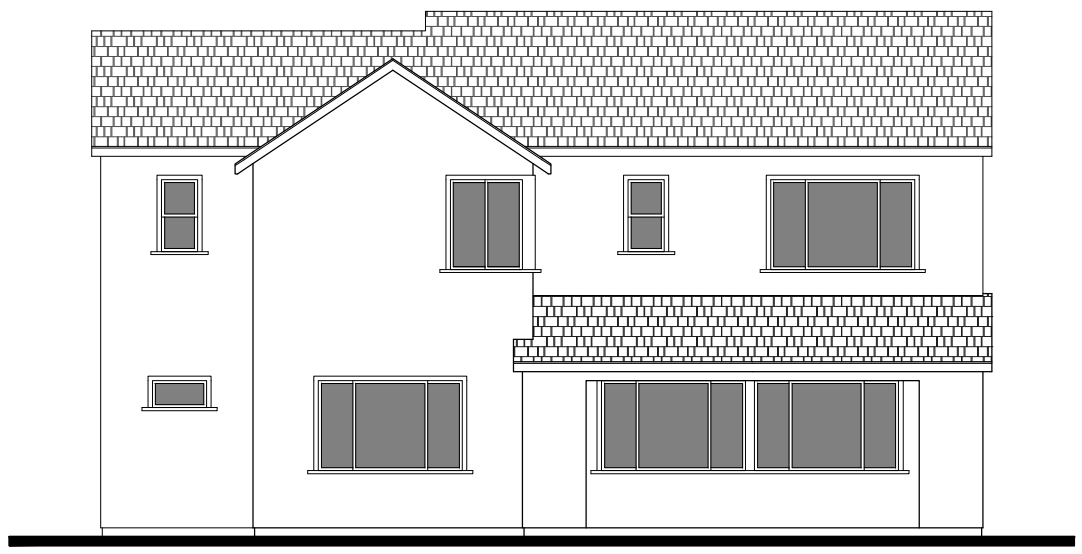

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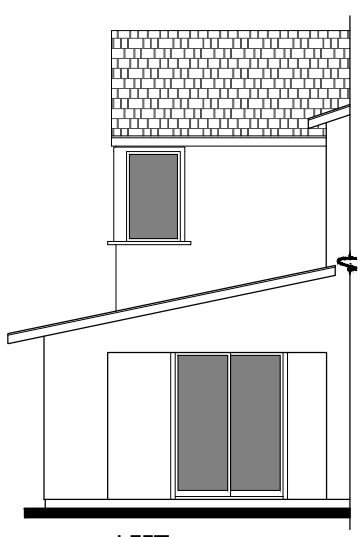

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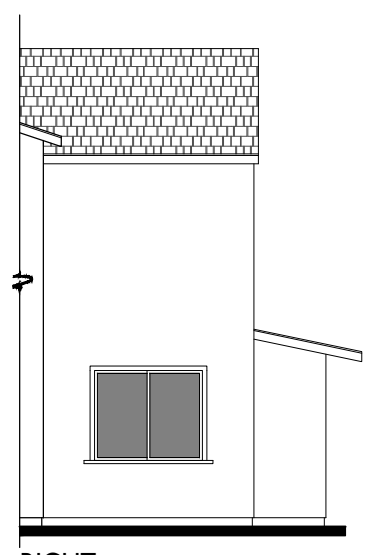

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PLAN 50-3B - OPT. EXTENDED COVERED PATIO

Modern Farmhouse Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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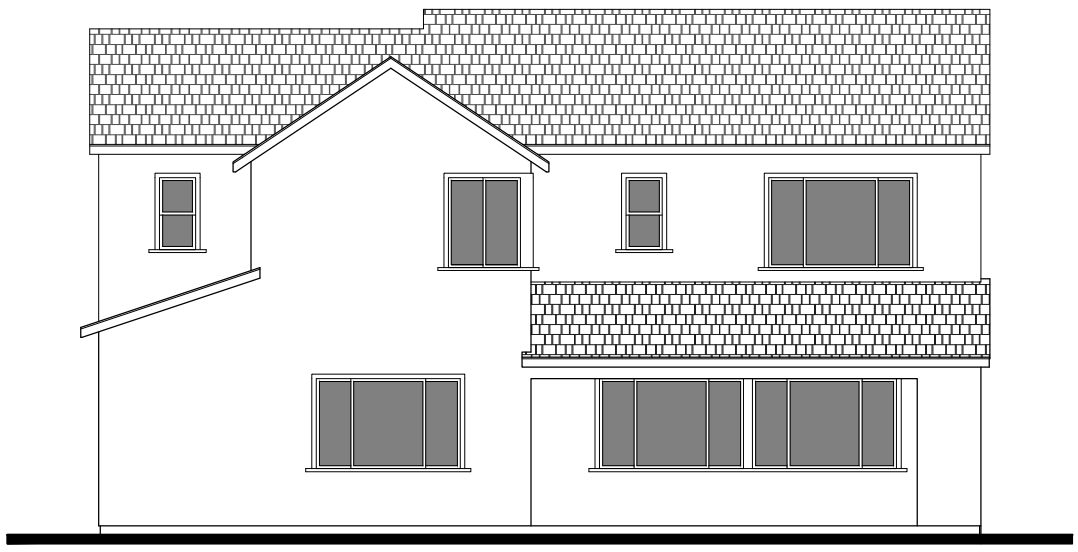

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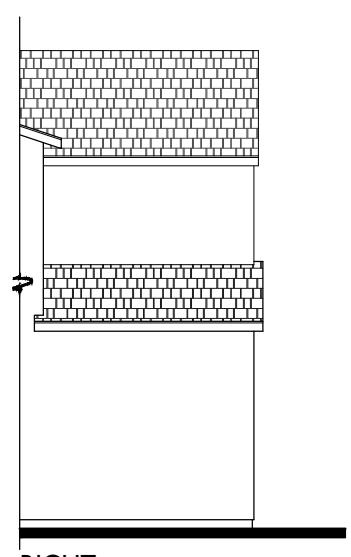

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PLAN 50-3B - OPT. WINE CLOSET

Modern Farmhouse Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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FRONT

C - MODERN DESERT

1/4"=1'-0"

MATERIALS LEGEND:

1. CONCRETE FLAT TILE ROOF
2. WOOD FASCIA AT EAVE
3. V-GROOVE HARDIE PANEL
4. STUCCO
5. STUCCO RECESS
6. STUCCO OVER FOAM TRIM
7. 2" FOAM VENEER

REAR

LEFT

RIGHT

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PLAN 50-3C

Modern Desert Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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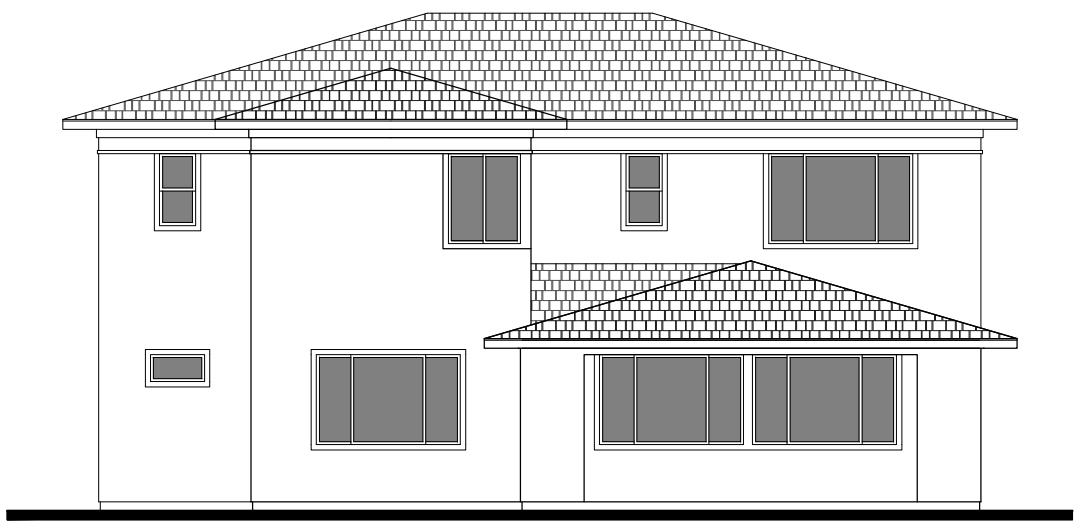

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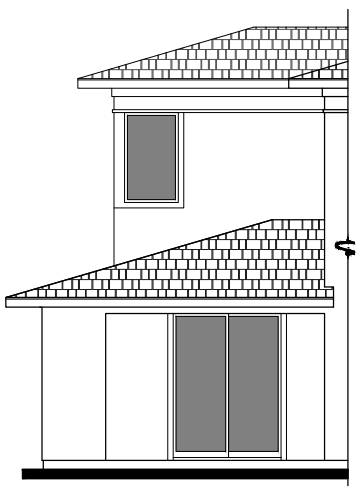

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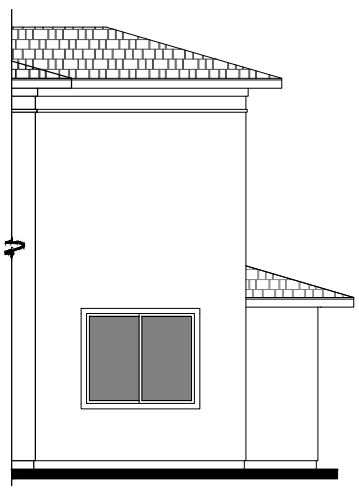

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PLAN 50-3C - OPT. EXTENDED COVERED PATIO

Modern Desert Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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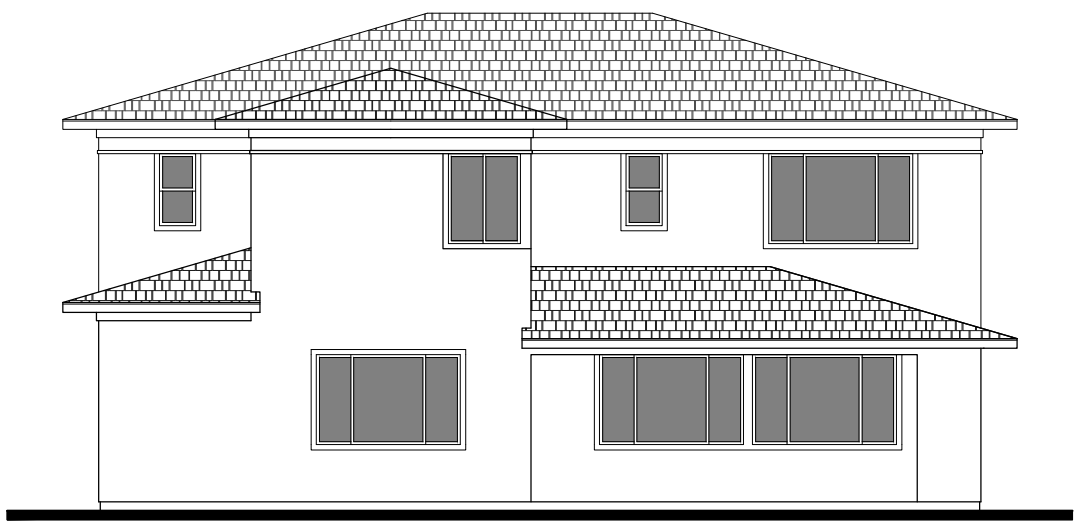

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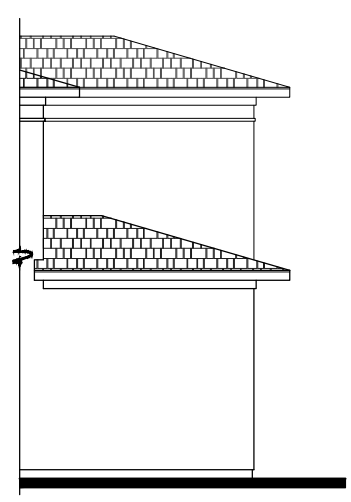

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PLAN 50-3C - OPT. WINE CLOSET

Modern Desert Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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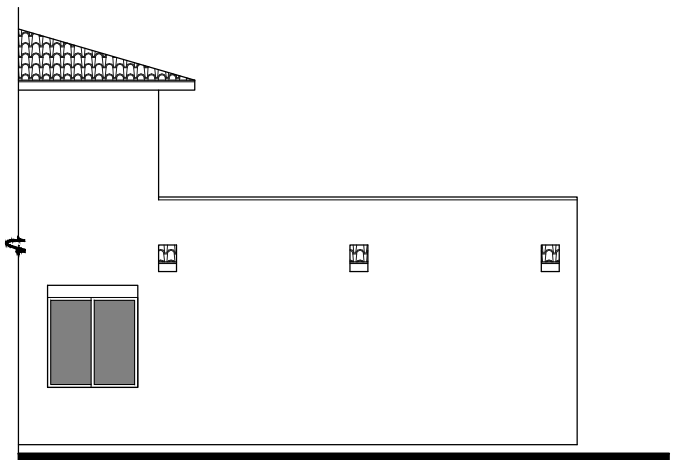

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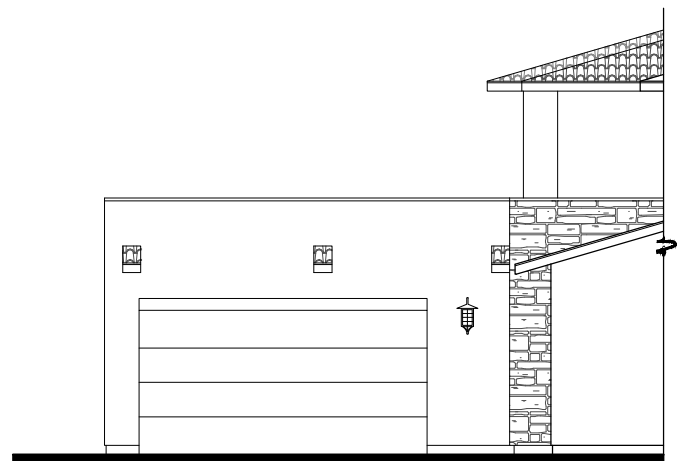

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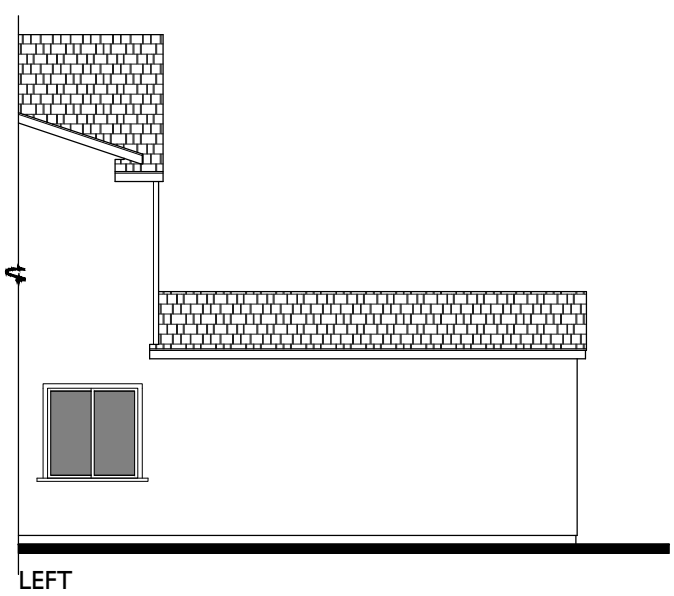

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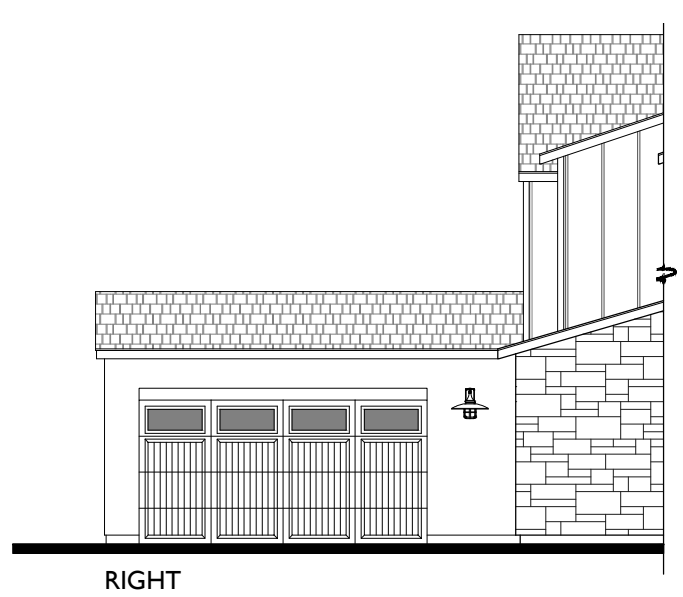

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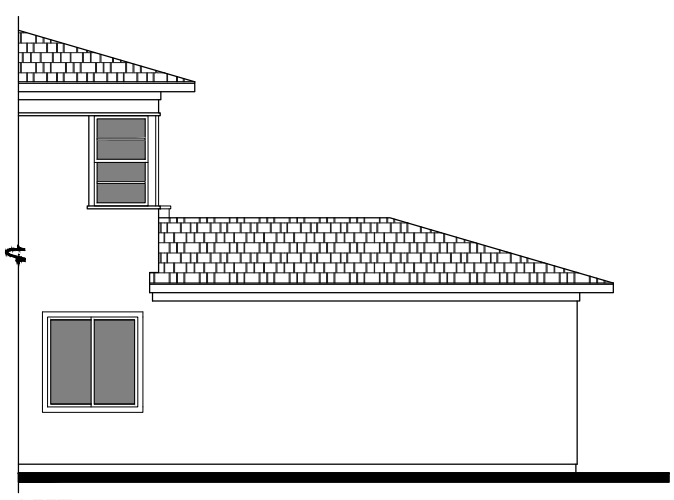

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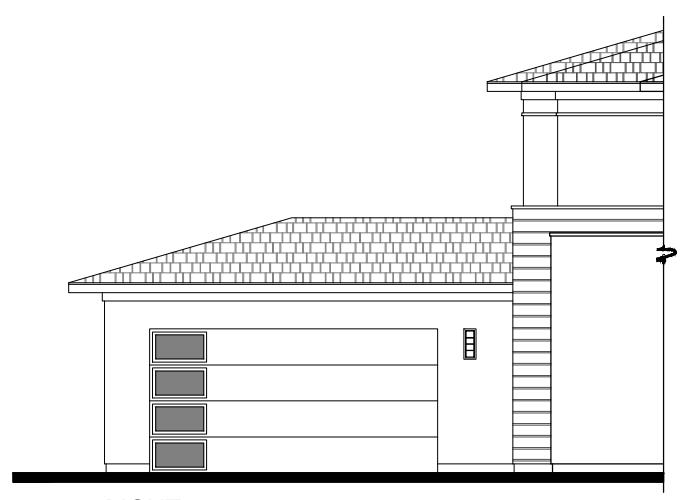

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PLAN 50-3 - OPT. 2-CAR GARAGE

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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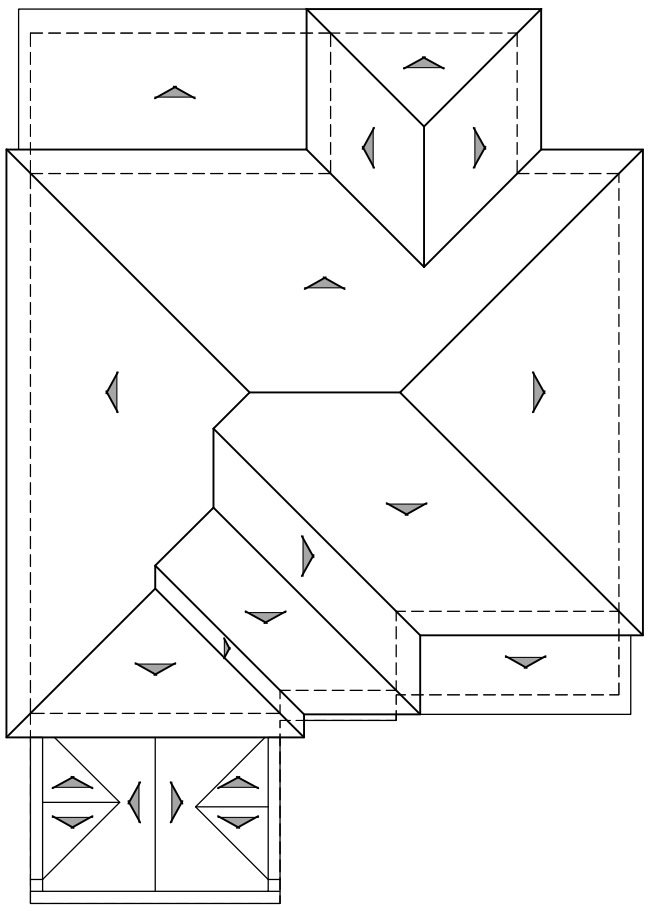
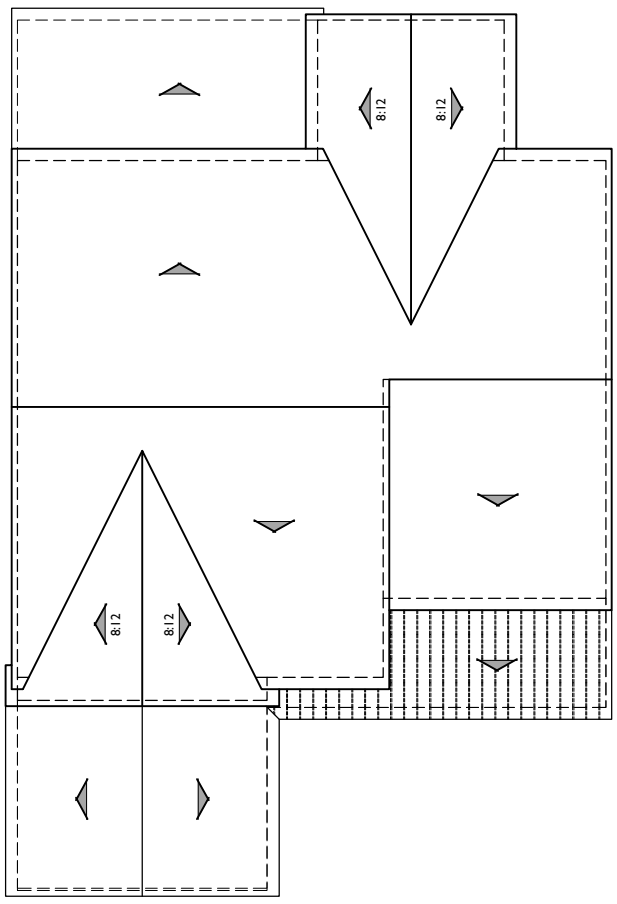


ROOF PLAN A

1/8"=1'-0"

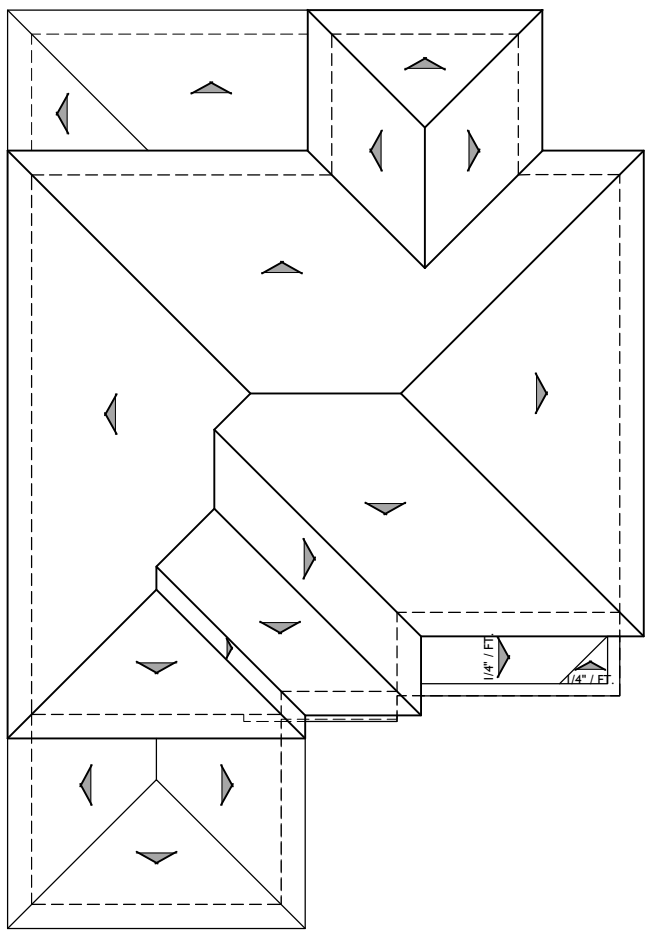
PITCH: 3.5:12 U.N.O.
RAKE: 12"
EAVE: 18"
ROOF MATERIAL: CONCRETE 'S' TILE



ROOF PLAN B

1/8"=1'-0"

PITCH: 4:12 U.N.O.
RAKE: 6"
EAVE: 12"
ROOF MATERIAL: CONCRETE FLAT TILE



ROOF PLAN C

1/8"=1'-0"

PITCH: 3.5:12
RAKE: N/A
EAVE: 24"
ROOF MATERIAL: CONCRETE FLAT TILE

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PLAN 50-3

Roof Plans

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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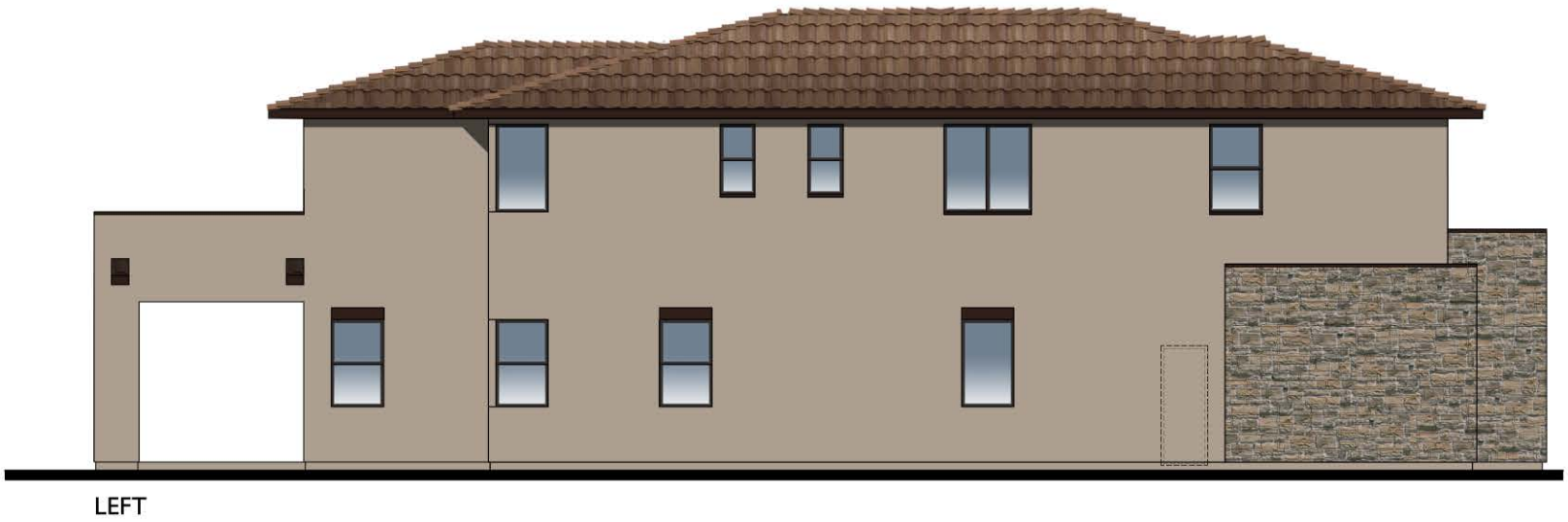
FRONT

A - MODERN HACIENDA
1/4"=1'-0"

MATERIALS LEGEND:

1. CONCRETE 'S' TILE ROOF
2. WOOD FASCIA AT EAVE
3. METAL FLASHING
4. STUCCO
5. STUCCO RECESS
6. DECORATIVE SHUTTER
7. STONE VENEER

REAR



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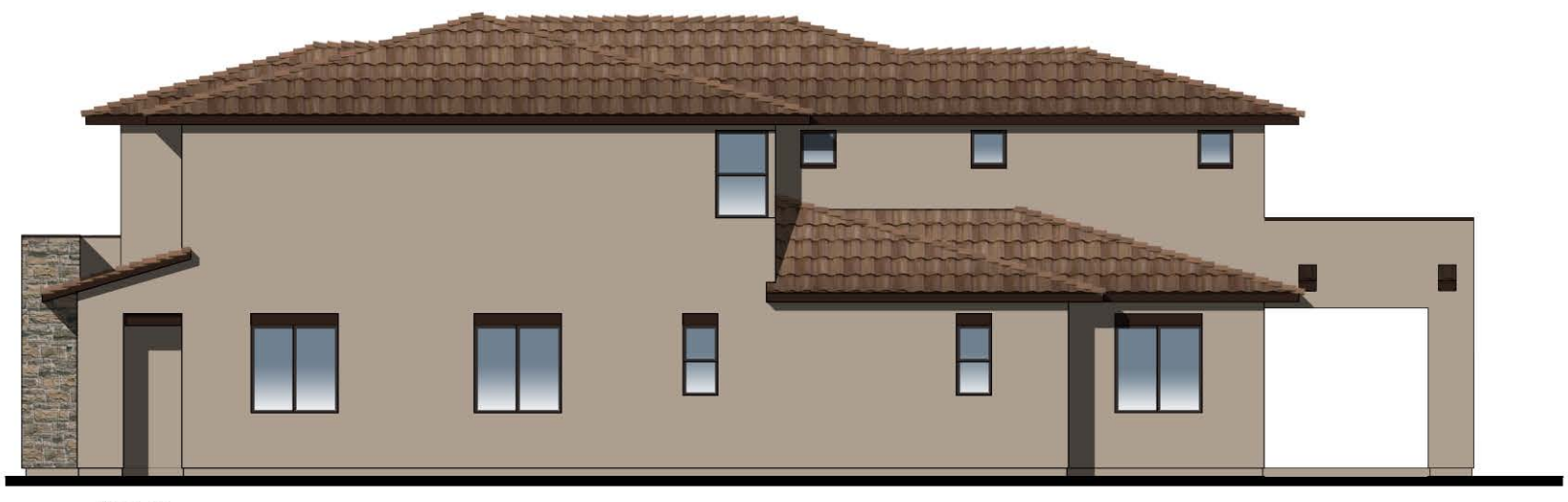

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PLAN 50-4A

Modern Hacienda Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

ST18-11 Hamstra Dairy
Attachment 7: Plan 50-4 - Elevations (6 pages)
December 5, 2018

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FRONT

B - MODERN FARMHOUSE

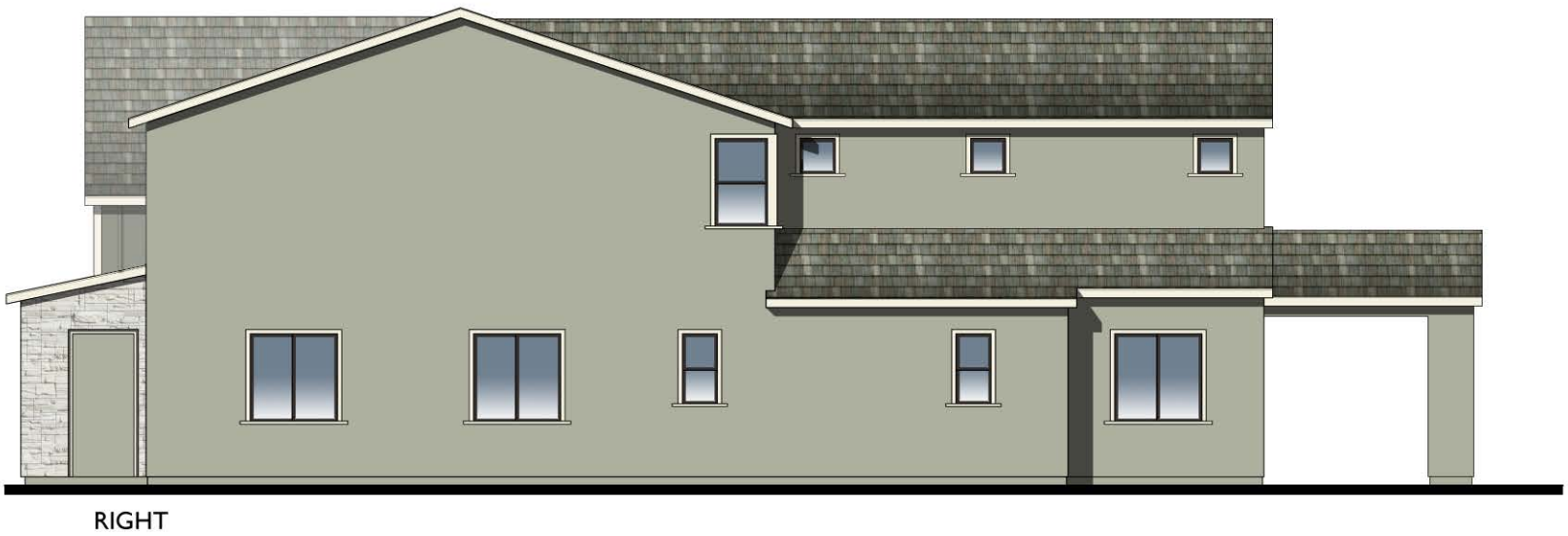
1/4"=1'-0"

MATERIALS LEGEND:

1. CONCRETE FLAT TILE ROOF
2. WOOD FASCIA
3. BOARD AND BATTEN SIDING
4. STUCCO
5. STUCCO RECESS
6. DECORATIVE SHUTTER
7. STUCCO OVER FOAM TRIM
8. STONE VENEER
9. +2" STUCCO COVERED FOAM
10. STANDING SEAM METAL ROOF

REAR

LEFT



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PLAN 50-4B

Modern Farmhouse Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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FRONT

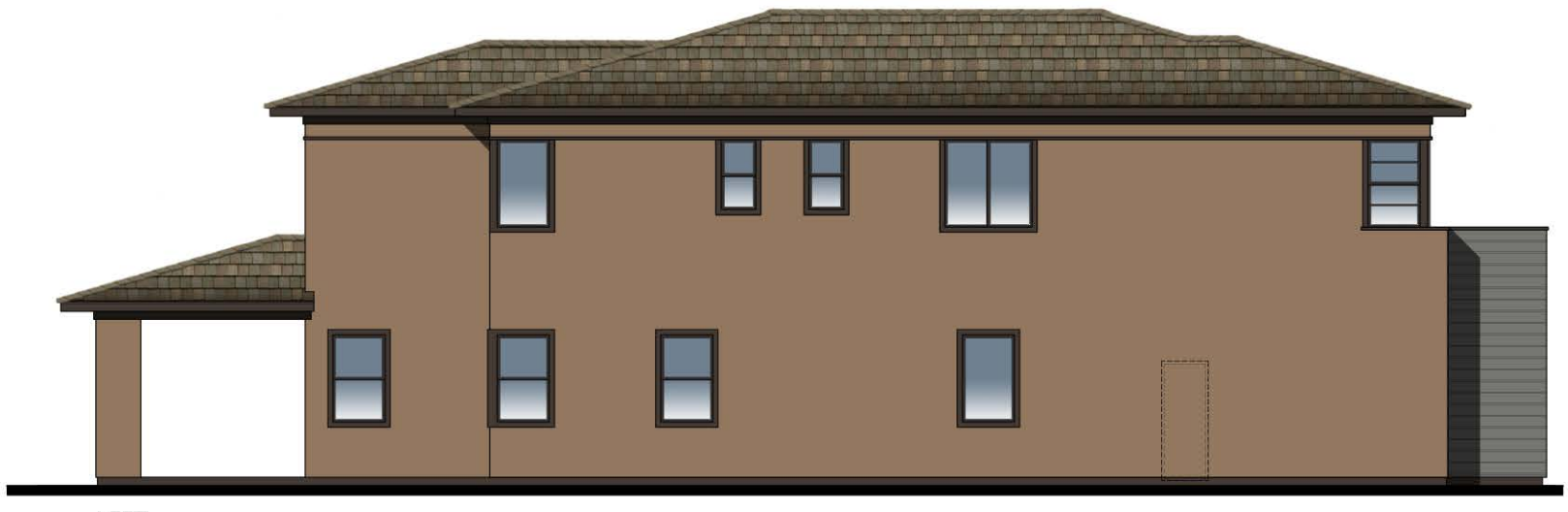
D - MODERN DESERT

1/4"=1'-0"

MATERIALS LEGEND:

1. CONCRETE FLAT TILE ROOF
2. WOOD FASCIA AT EAVE
3. V-GROOVE HARDIE PANEL
4. STUCCO
5. STUCCO RECESS
6. STUCCO OVER FOAM TRIM
7. 2" FOAM VENEER

REAR



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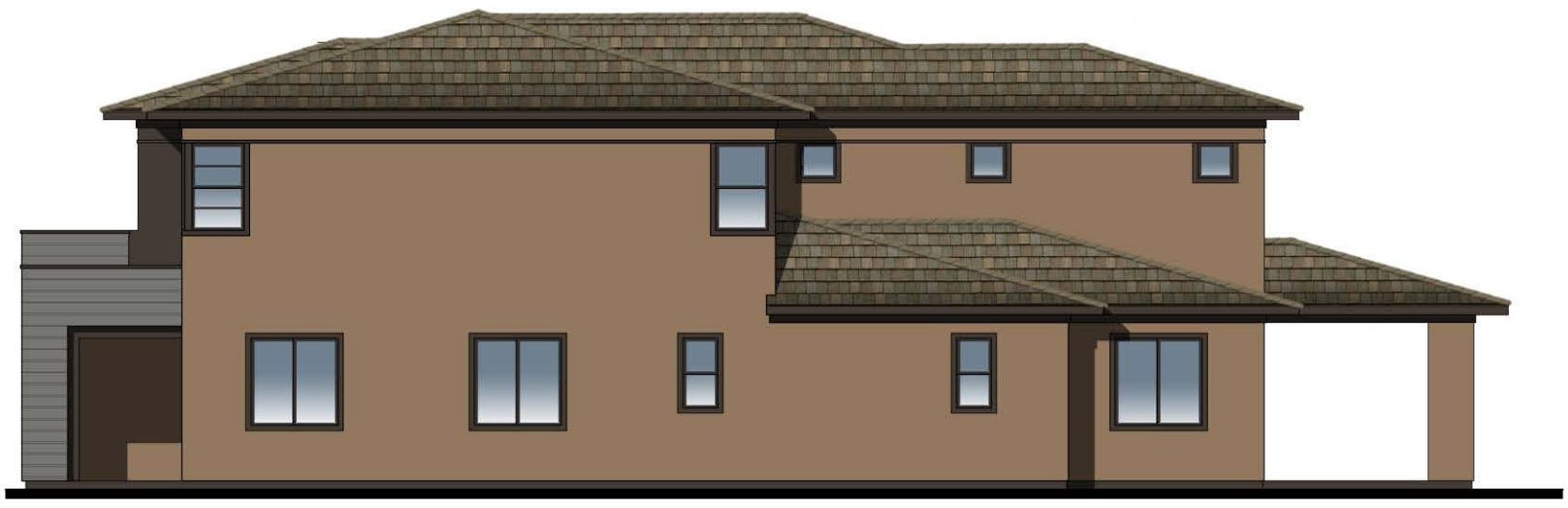

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PLAN 50-4C

Modern Desert Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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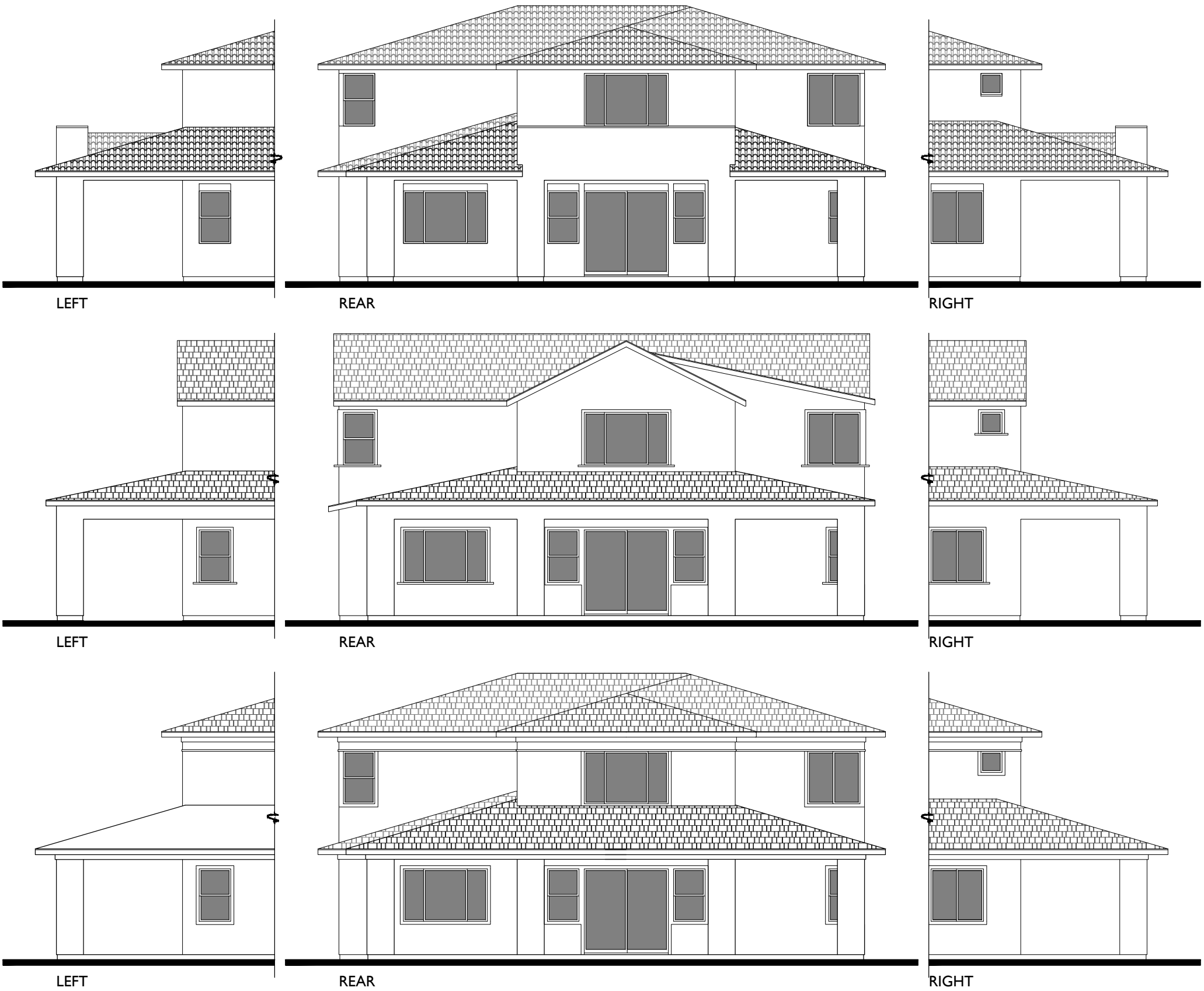

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PLAN 50-4 - OPT. EXTENDED COVERED PATIO

HAMSTRA - 50' PRODUCT

08.27.18

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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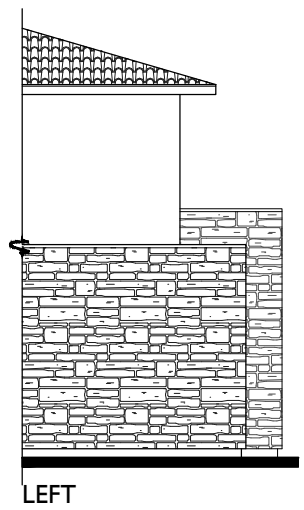

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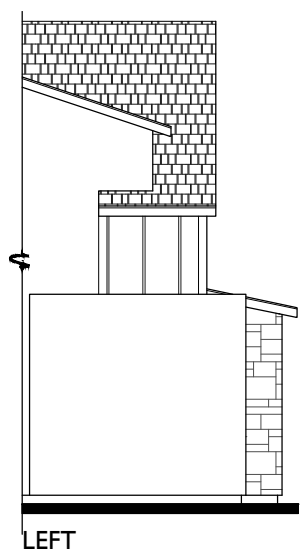

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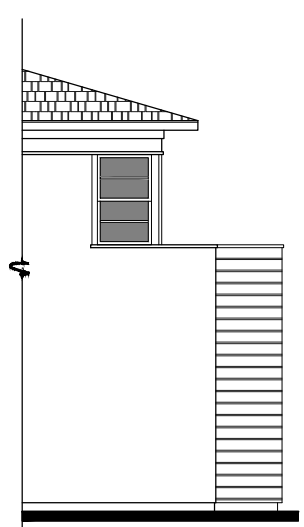

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PLAN 50-4 - OPT. EXTENDED GARAGE

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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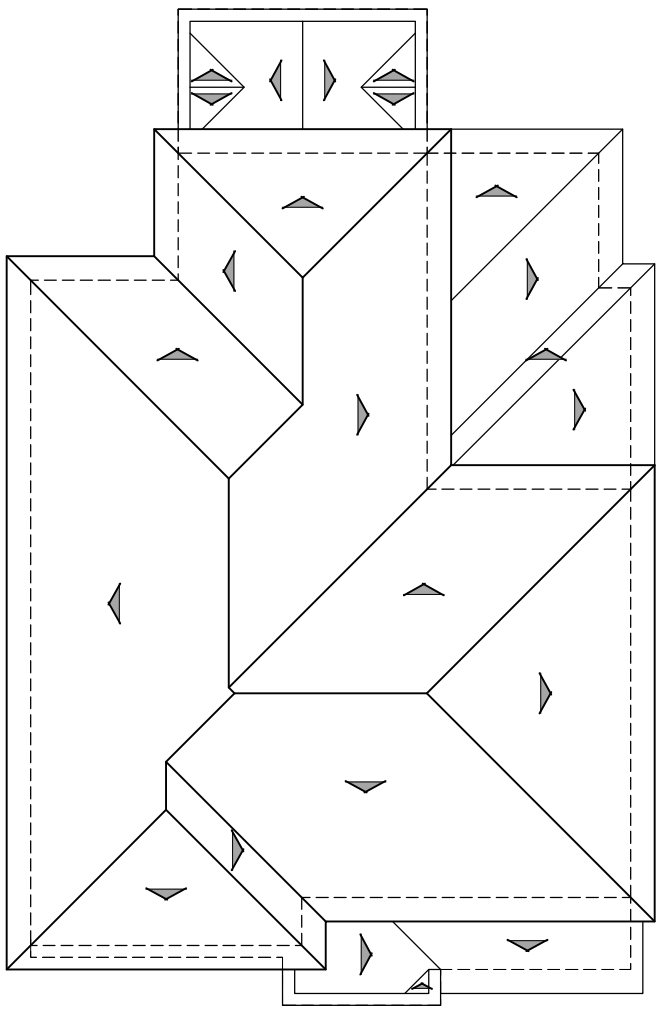
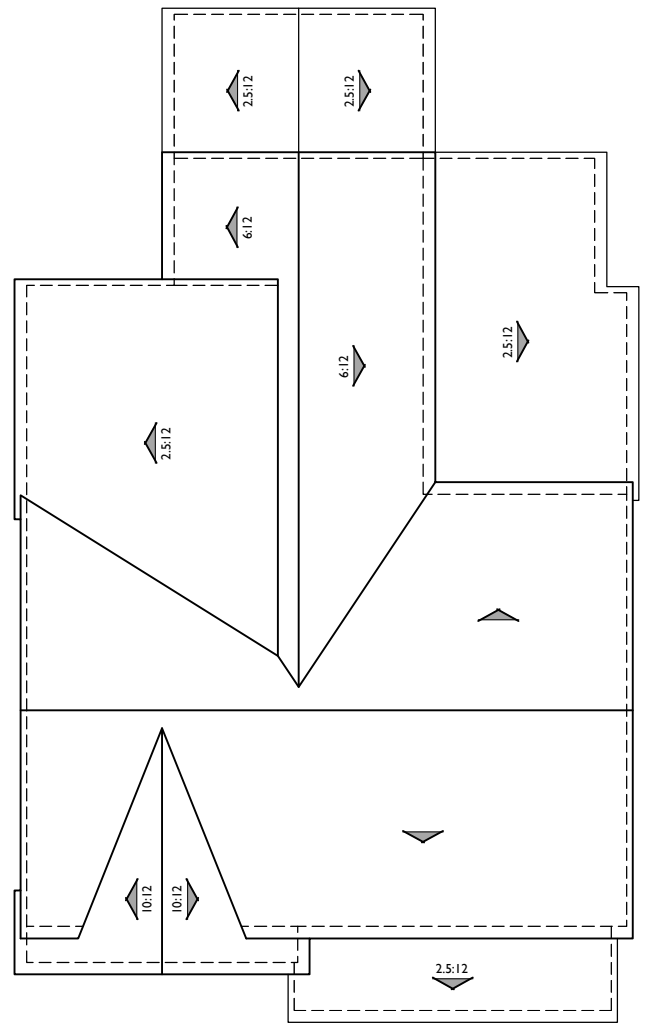


ROOF PLAN A

1/8"=1'-0"

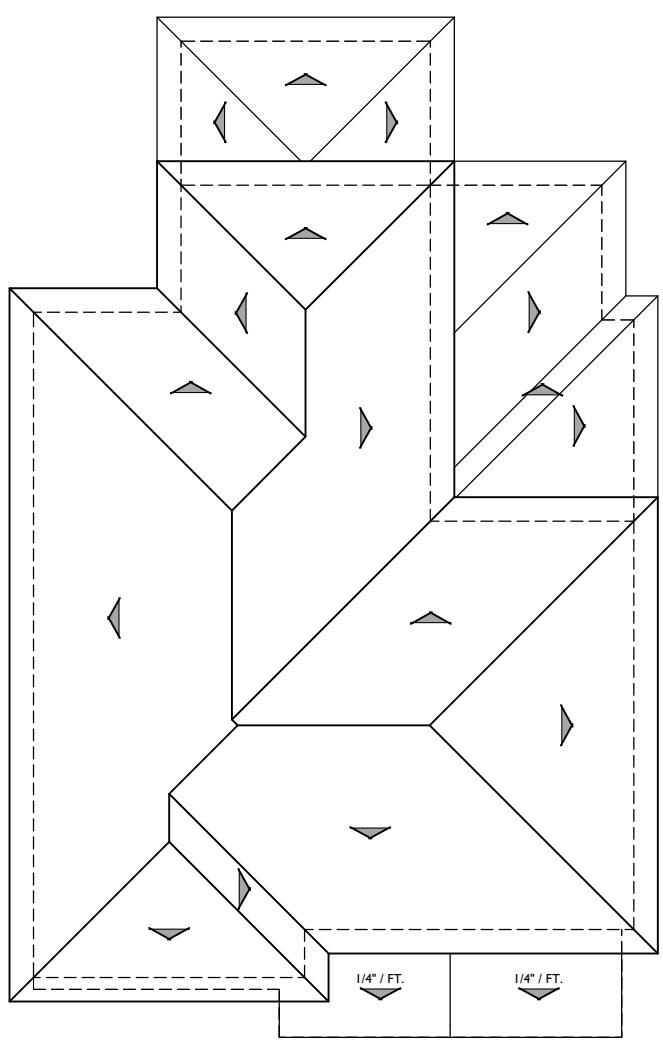
PITCH: 3.5:12 U.N.O.
RAKE: 6"
EAVE: 18"
ROOF MATERIAL: CONCRETE 'S' TILE



ROOF PLAN B

1/8"=1'-0"

PITCH: 4:12 U.N.O.
RAKE: 6"
EAVE: 12"
ROOF MATERIAL: CONCRETE FLAT TILE



ROOF PLAN D

1/8"=1'-0"

PITCH: 3.5:12
RAKE: N/A
EAVE: 24"
ROOF MATERIAL: CONCRETE FLAT TILE

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PLAN 50-4

Roof Plans

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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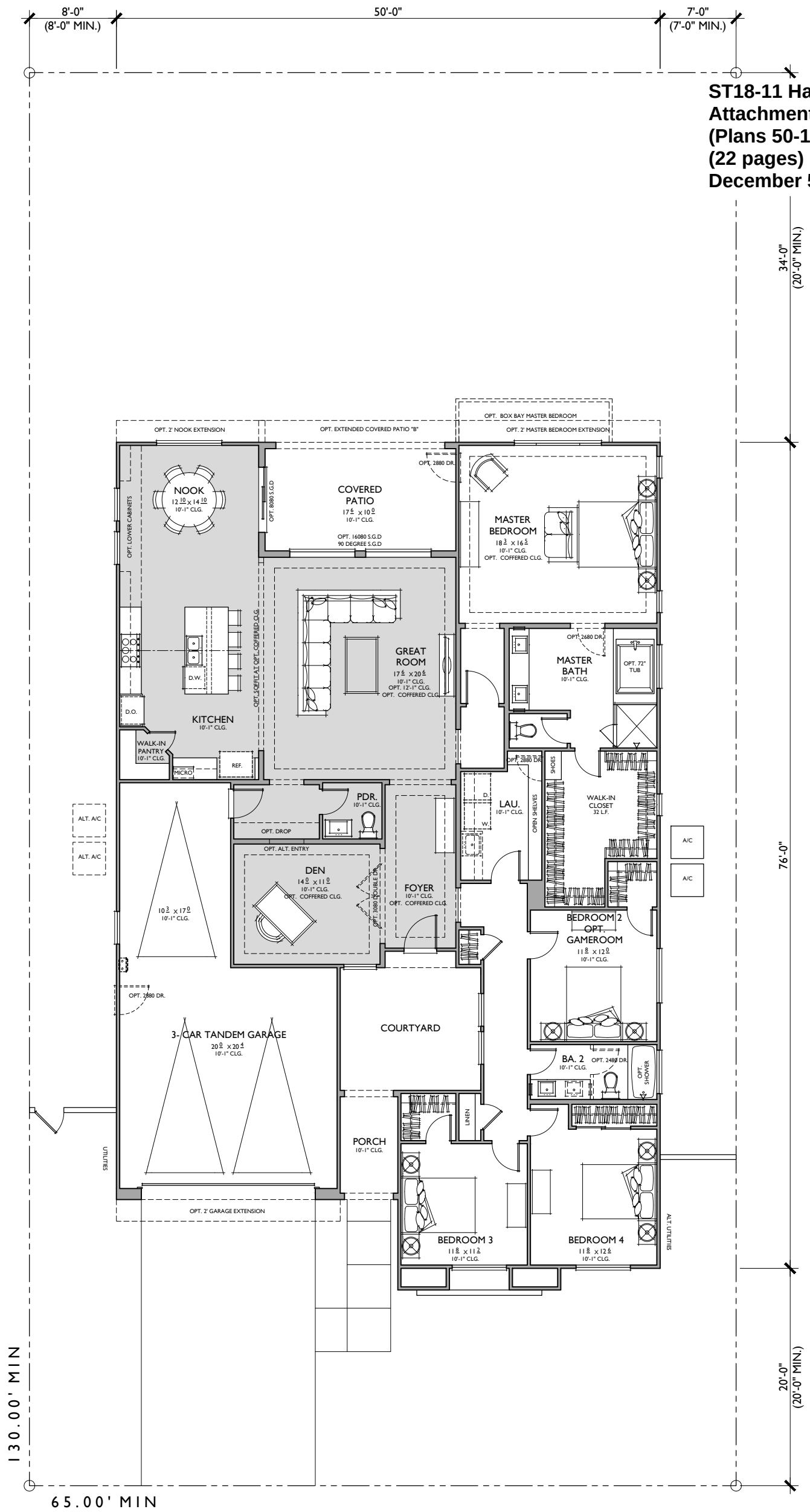
ST18-11 Hamstra Dairy
Attachment 8: Floor Plans
(Plans 50-1, 50-2, 50-3 and 50-4
(22 pages)
December 5, 2018



PLAN 50-1A

2,644 SQ. FT.

TARGET: 2,685
4 BEDROOMS / 2.5 BATHS + DEN
3 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	2,634 SQ. FT.
TOTAL LIVING	**2,644 SQ. FT.**
3 - CAR GARAGE	618 SQ. FT.
COVERED OUTDOOR LIVING	175 SQ. FT.
PORCH	53 SQ. FT.
LOT COVERAGE (45% MAX)	39%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 50% MAX)	47%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-1A

Reflects Modern Hacienda Elevation

HAMSTRA - 50' PRODUCT

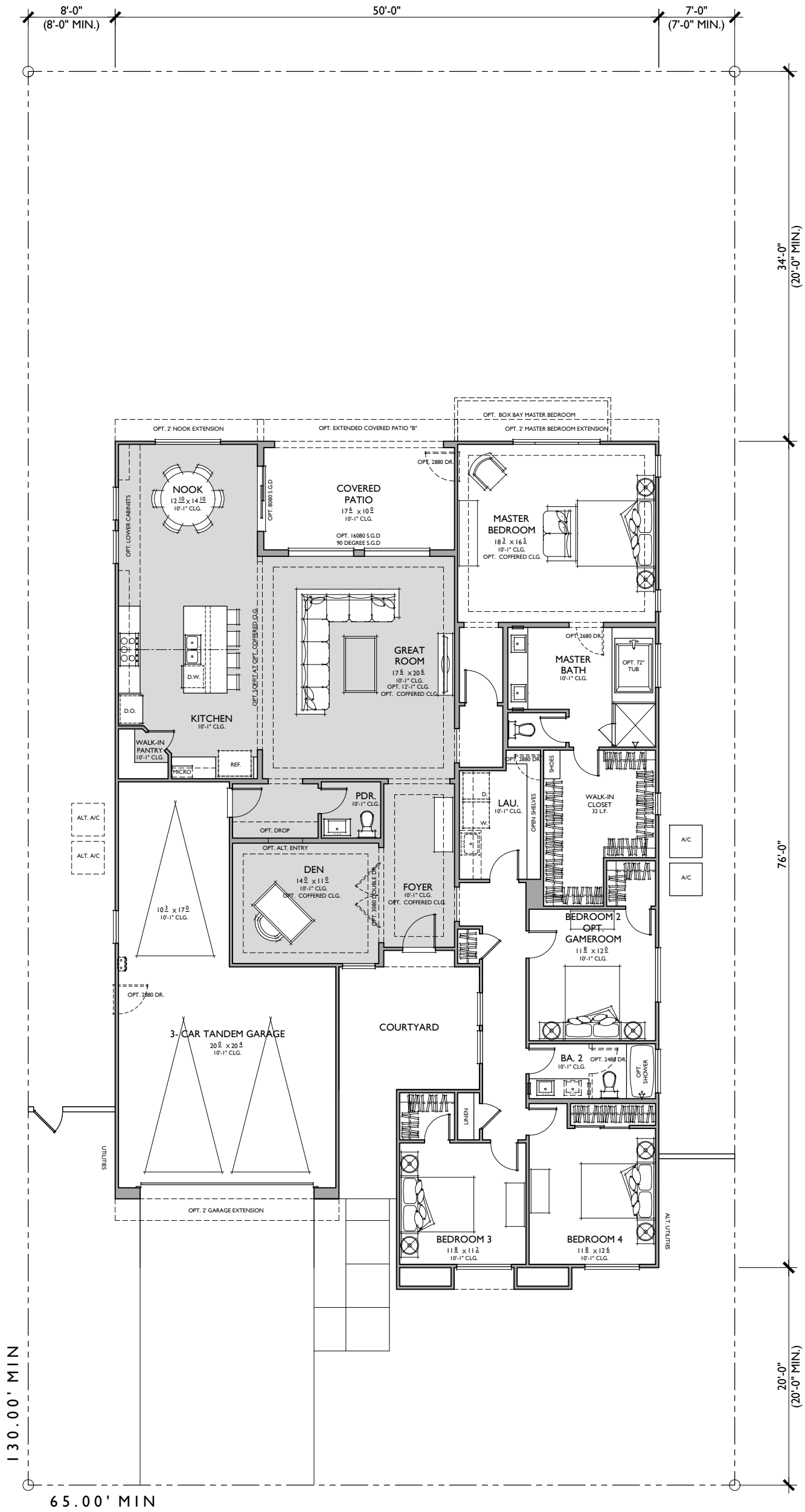
Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

08.27.18

MARACAY

REGISTERED ARCHITECT
CERTIFICATE NO. 29129
MARK W. KINER
Date Signed 8/27/18
ARIZONA U.S.A.
Exp. 06/30/19



PLAN 50-1B

2,644 SQ. FT.

TARGET: 2,685
4 BEDROOMS / 2.5 BATHS + DEN
3 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	2,634 SQ. FT.
TOTAL LIVING	**2,644 SQ. FT.**
3 - CAR GARAGE	618 SQ. FT.
COVERED OUTDOOR LIVING	175 SQ. FT.
PORCH	10 SQ. FT.
LOT COVERAGE (45% MAX)	38%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 50% MAX)	45%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-1B

Reflects Modern Farmhouse Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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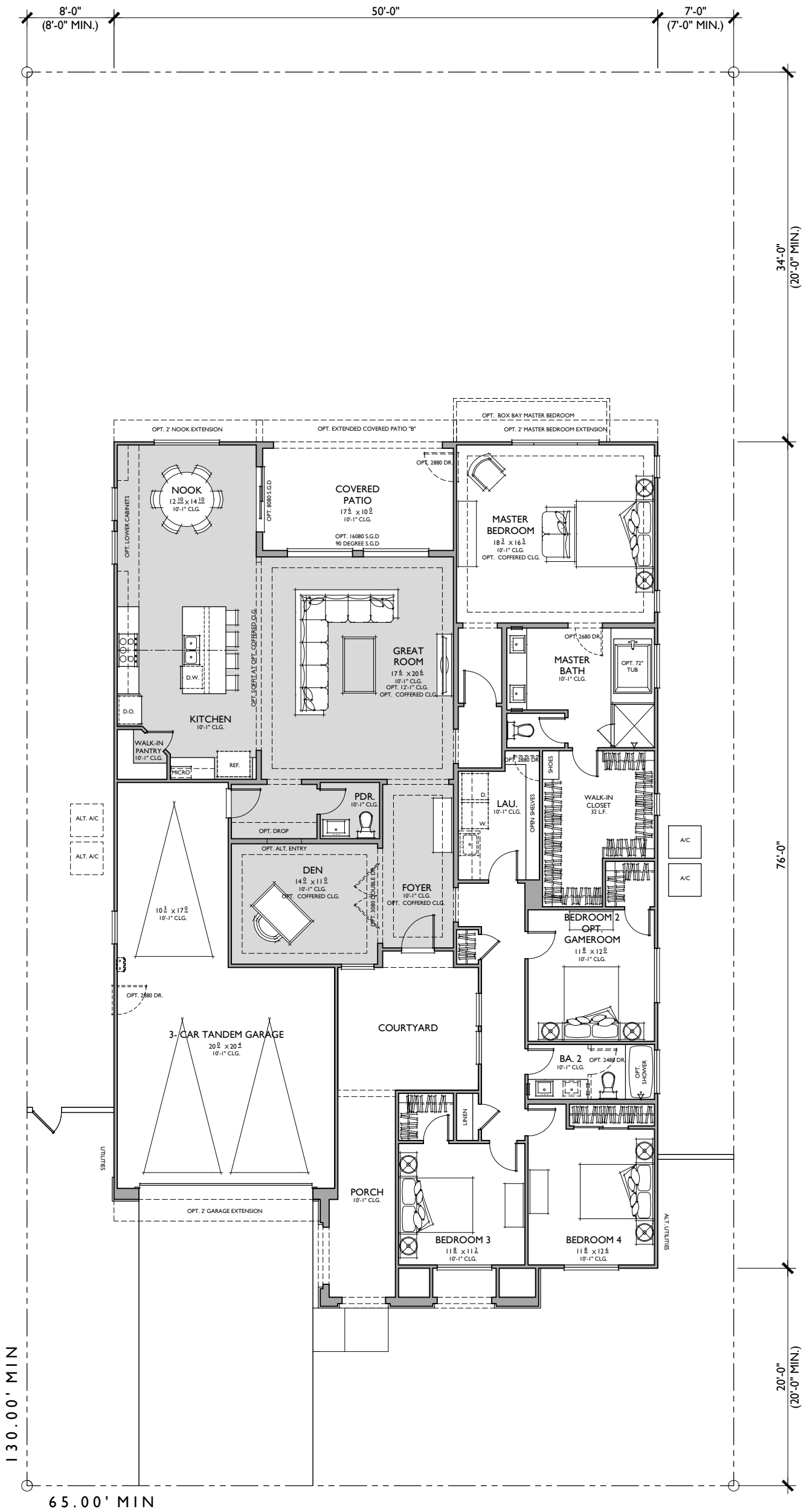

PLAN 50-1C

2,644 SQ. FT.

TARGET: 2,685
4 BEDROOMS / 2.5 BATHS + DEN
3 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	2,634 SQ. FT.
TOTAL LIVING	**2,644 SQ. FT.**
3 - CAR GARAGE	618 SQ. FT.
COVERED OUTDOOR LIVING	175 SQ. FT.
PORCH	121 SQ. FT.
LOT COVERAGE (45% MAX)	38%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 50% MAX)	42%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-1C

Reflects Modern Desert Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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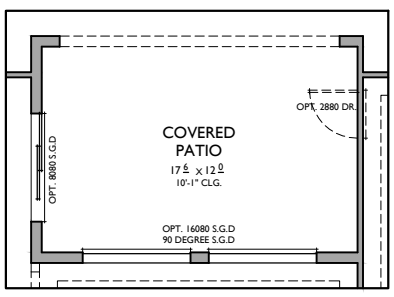

OPT. EXTENDED COVERED PATIO "B"

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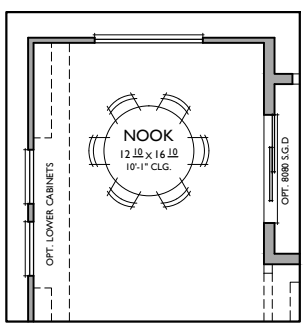
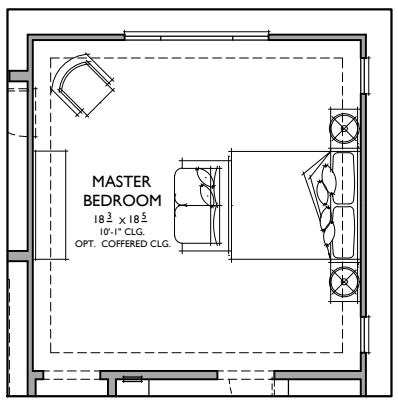


OPT. 2' NOOK EXTENSION

#####



OPT. 2' MASTER BEDROOM EXTENSION

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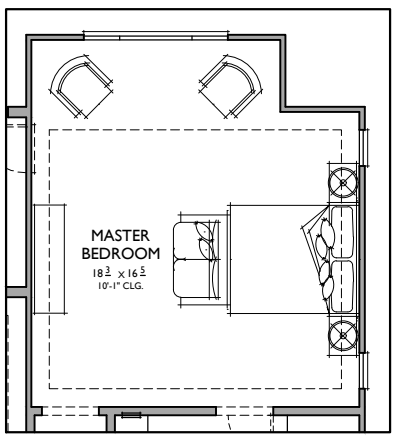
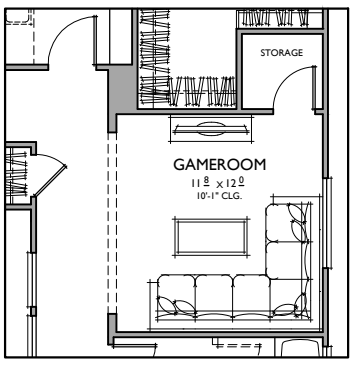


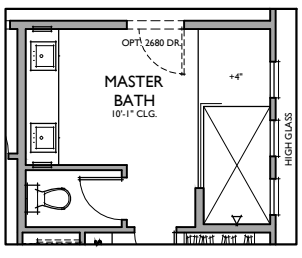
OPT. BOX BAY MASTER BEDROOM

#####



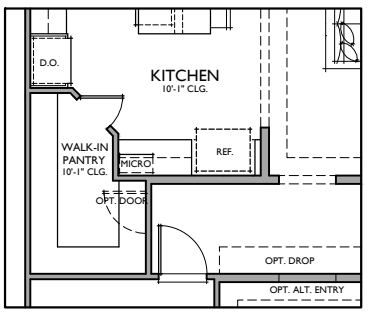
OPT. GAME ROOM

INSTEAD OF BEDROOM 2 #####



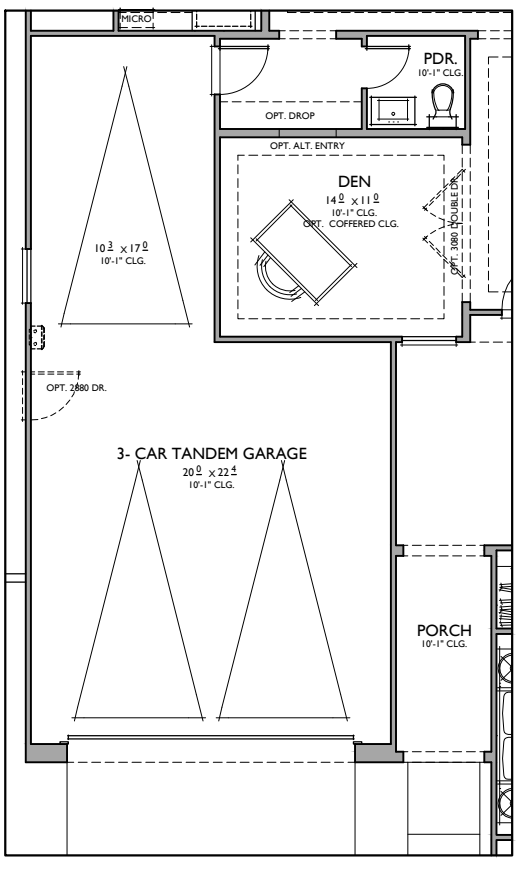
FRAMELESS WALK-IN SHOWER

INSTEAD OF BATH TUB STR1508



OPT. EXPANDED PANTRY

AT GARAGE (+57 SQ. FT.) #####



OPT. 2' GARAGE EXTENSION

#####

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PLAN 50-1

Options

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

08.27.18

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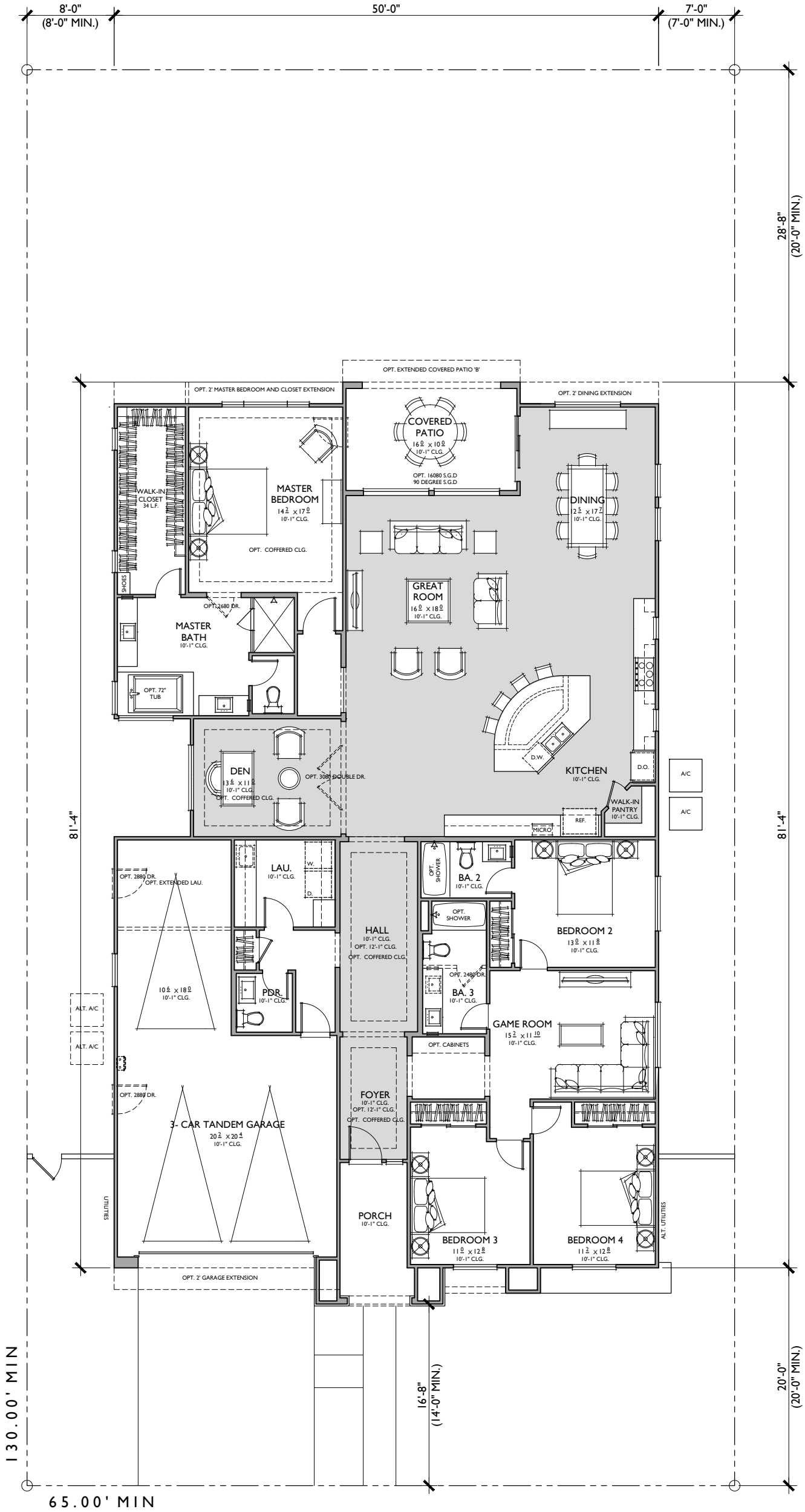

PLAN 50-2A

3,073 SQ. FT.

TARGET: 3,000
4 BEDROOMS / 2.5 BATHS + FORMAL DINING + LOUNGE + GAME ROOM / OPT. BEDROOM 5 W/ BATH 3
3 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	3,073 SQ. FT.
TOTAL LIVING	**3,073 SQ. FT.**
3 - CAR GARAGE	632 SQ. FT.
COVERED OUTDOOR LIVING	158 SQ. FT.
PORCH	103 SQ. FT.
LOT COVERAGE (45% MAX)	44%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 50% MAX)	47%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-2A
Reflects Modern Hacienda Elevation
HAMSTRA - 50' PRODUCT
Gilbert, Arizona
SCALE: 3/32" = 1'-0" 566.18128

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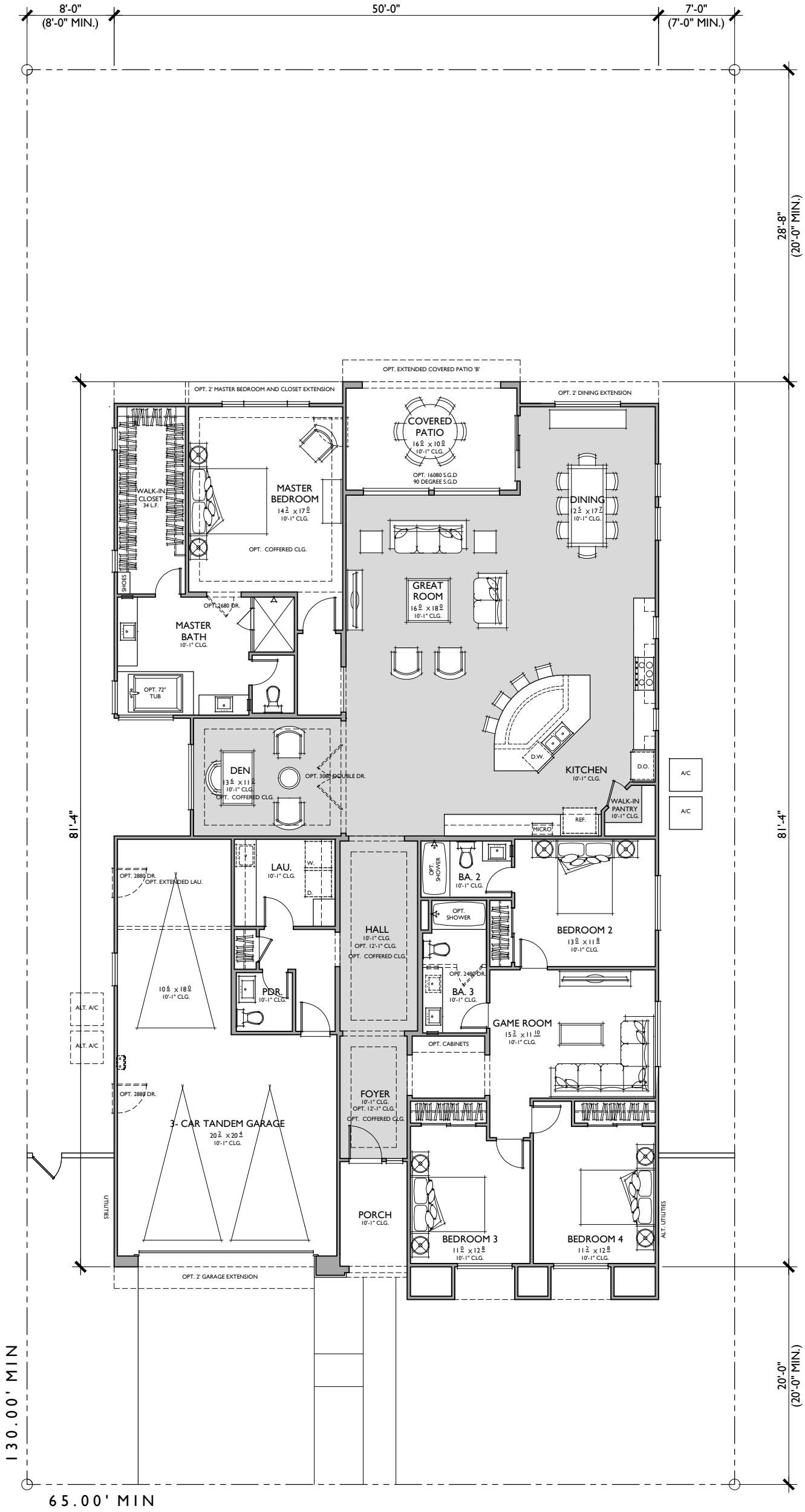

PLAN 50-2B

3,073 SQ. FT.

TARGET: 3,000
4 BEDROOMS / 2.5 BATHS + FORMAL DINING + LOUNGE + GAME ROOM / OPT. BEDROOM 5 W/ BATH 3
3 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	3,073 SQ. FT.
TOTAL LIVING	**3,073 SQ. FT.**
3 - CAR GARAGE	632 SQ. FT.
COVERED OUTDOOR LIVING	158 SQ. FT.
PORCH	82 SQ. FT.
LOT COVERAGE (45% MAX)	44%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 50% MAX)	47%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-2B

Reflects Modern Farmhouse Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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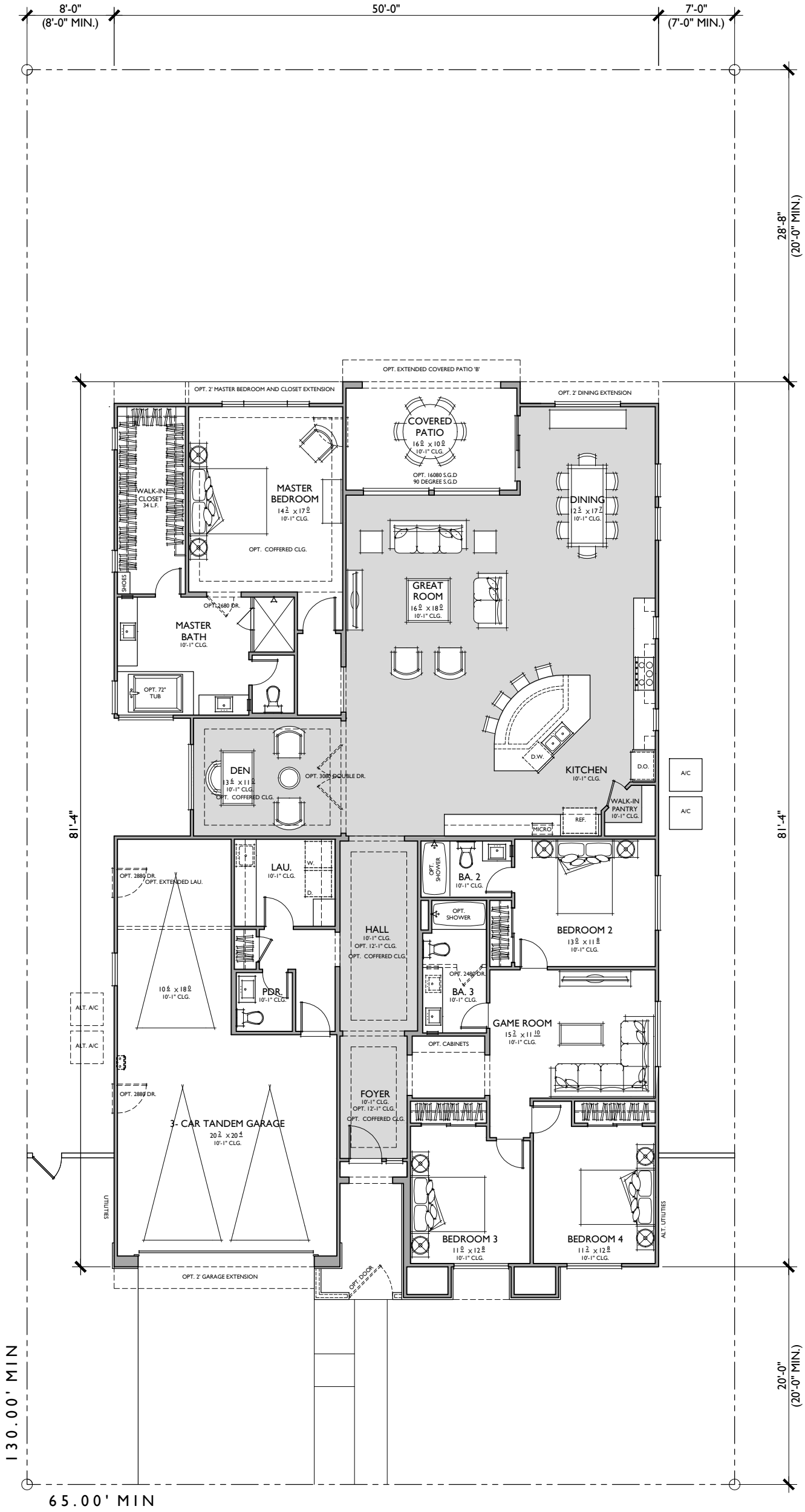

PLAN 50-2C

3,073 SQ. FT.

TARGET: 3,000
4 BEDROOMS / 2.5 BATHS + FORMAL DINING + LOUNGE + GAME ROOM / OPT. BEDROOM 5 W/ BATH 3
3 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	3,073 SQ. FT.
TOTAL LIVING	**3,073 SQ. FT.**
3 - CAR GARAGE	632 SQ. FT.
COVERED OUTDOOR LIVING	158 SQ. FT.
PORCH	13 SQ. FT.
LOT COVERAGE (45% MAX)	44%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 50% MAX)	46%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-2C

Reflects Modern Desert Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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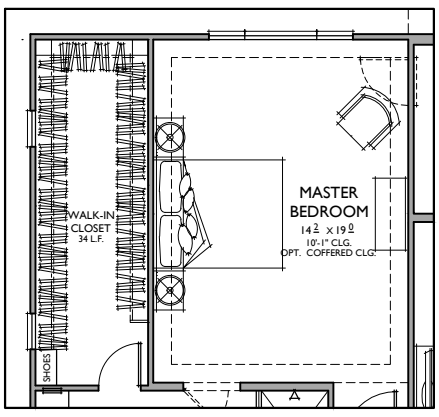
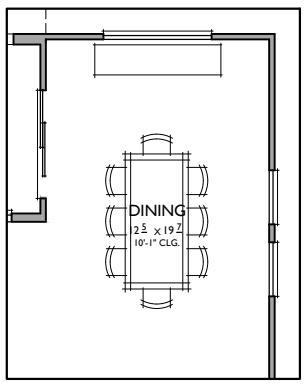


OPT. 2' MASTER BEDROOM AND CLOSET EXTENSION

#####



OPT. 2' DINING EXTENSION

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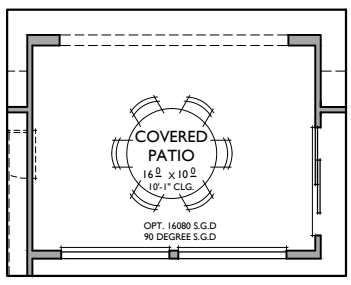

OPT. EXTENDED COVERED PATIO 'B'

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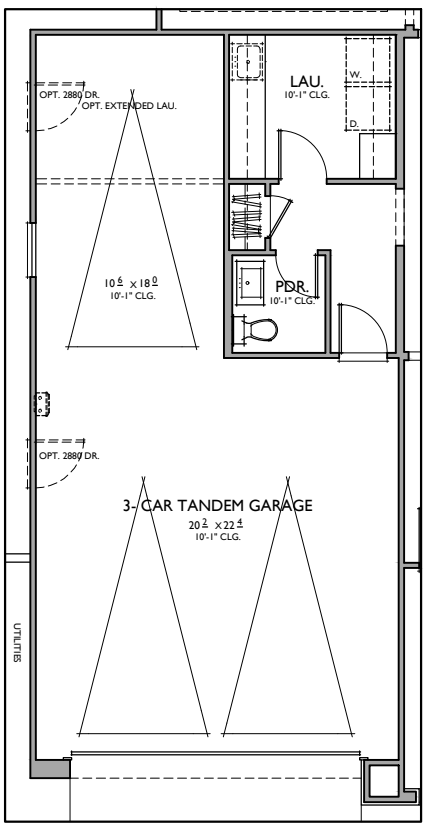

OPT. 2' GARAGE EXTENSION

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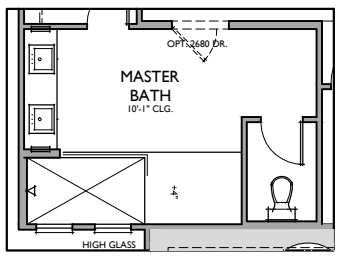

FRAMELESS WALK-IN SHOWER

INSTEAD OF BATH TUB STR1508

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PLAN 50-2

Options

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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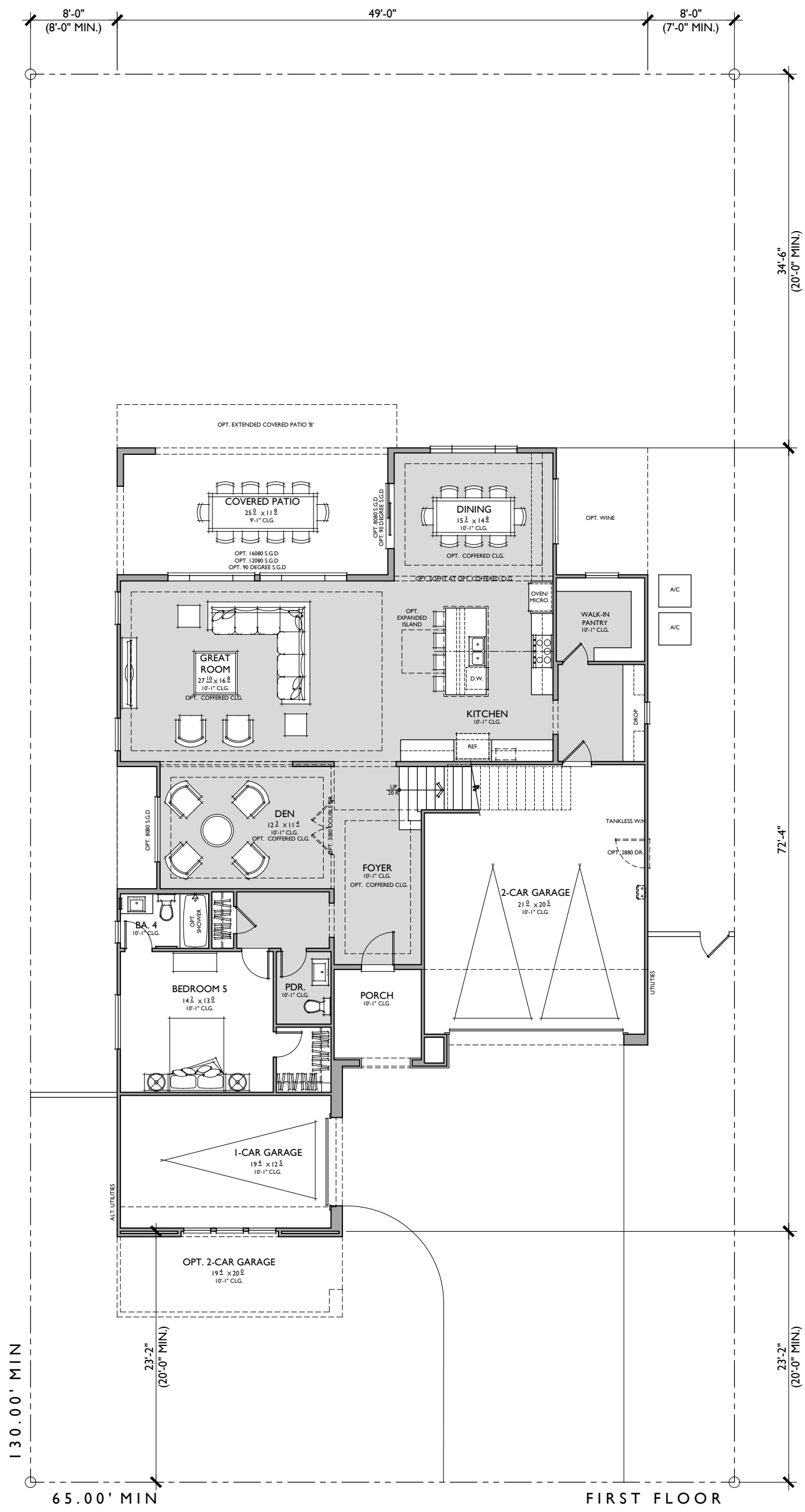

PLAN 50-3A

3,947 SQ. FT.

TARGET: 3,700 SQ. FT.

5 BEDROOMS / 3.5 BATHS + DEN + LOFT

4 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	1,830 SQ. FT.
2ND FLOOR	2,117 SQ. FT.
TOTAL	3,947 SQ. FT.
4 - CAR GARAGE	767 SQ. FT.
OUTDOOR LIVING	293 SQ. FT.
PORCH	74 SQ. FT.
LOT COVERAGE (40% MAX)	31%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 45% MAX)	35%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-3A

Reflects Modern Hacienda Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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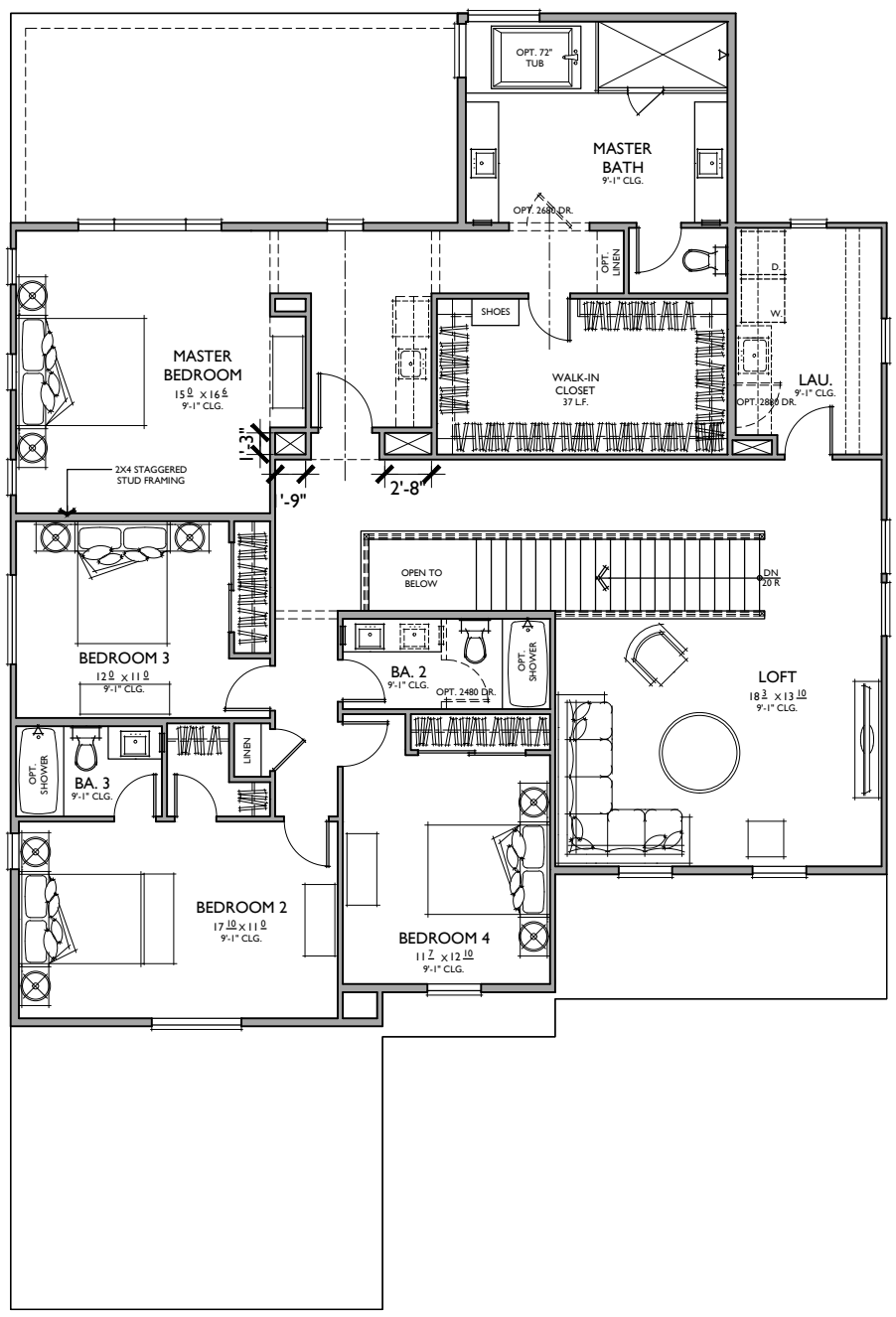

SECOND FLOOR

PLAN 50-3A

3,947 SQ. FT.

TARGET: 3,700 SQ. FT.

5 BEDROOMS / 3.5 BATHS + DEN + LOFT

4 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,830 SQ. FT.
2ND FLOOR	2,117 SQ. FT.
TOTAL	3,947 SQ. FT.
4 - CAR GARAGE	767 SQ. FT.
OUTDOOR LIVING	293 SQ. FT.
PORCH	74 SQ. FT.
LOT COVERAGE (40% MAX)	31%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 45% MAX)	35%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-3A

Reflects Modern Hacienda Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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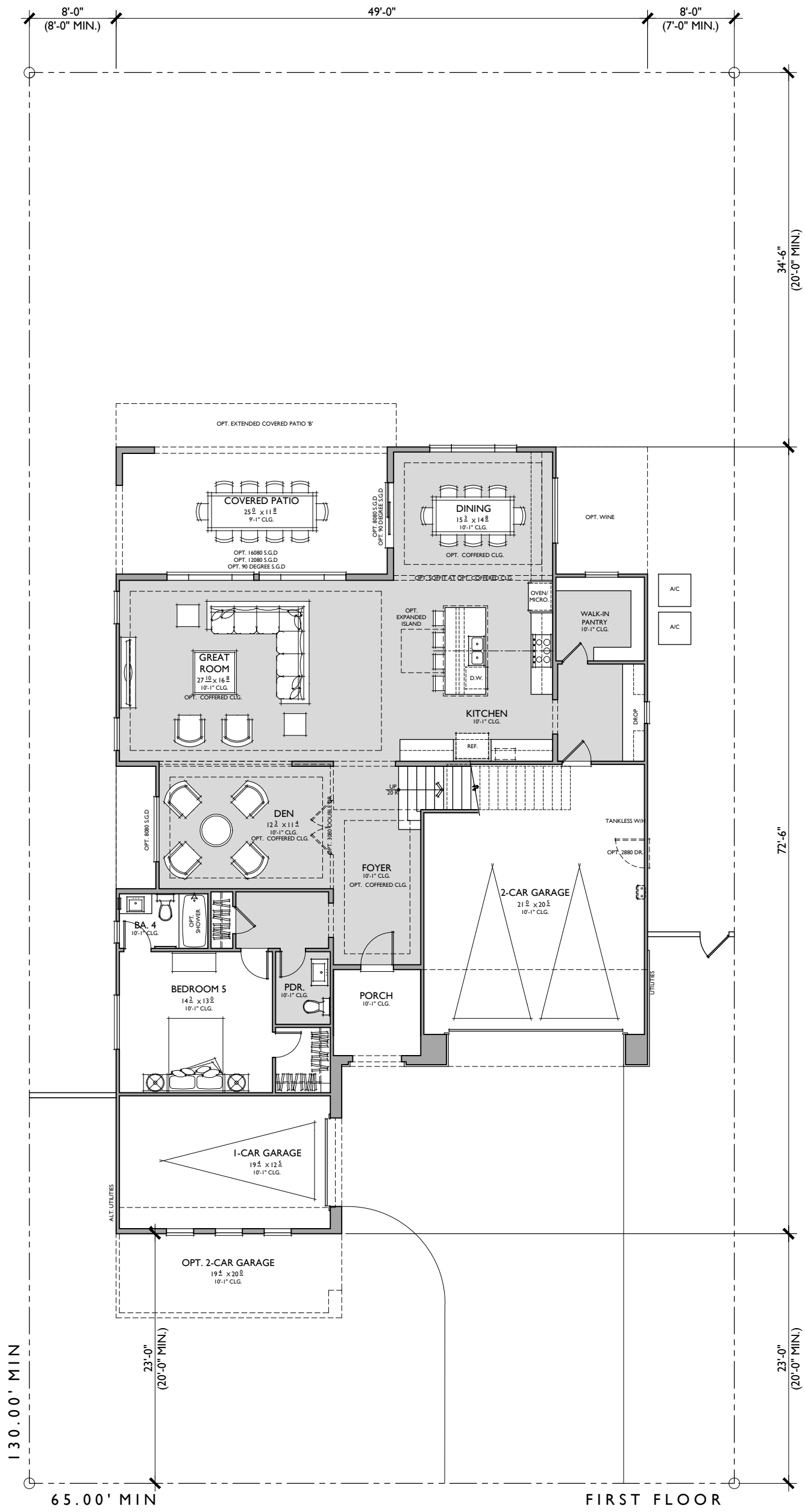

PLAN 50-3B

3,947 SQ. FT.

TARGET: 3,700 SQ. FT.

5 BEDROOMS / 3.5 BATHS + DEN + LOFT

4 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	1,830 SQ. FT.
2ND FLOOR	2,117 SQ. FT.
TOTAL	3,947 SQ. FT.
4 - CAR GARAGE	767 SQ. FT.
OUTDOOR LIVING	293 SQ. FT.
PORCH	74 SQ. FT.
LOT COVERAGE (40% MAX)	31%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 45% MAX)	35%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-3B

Reflects Modern Farmhouse Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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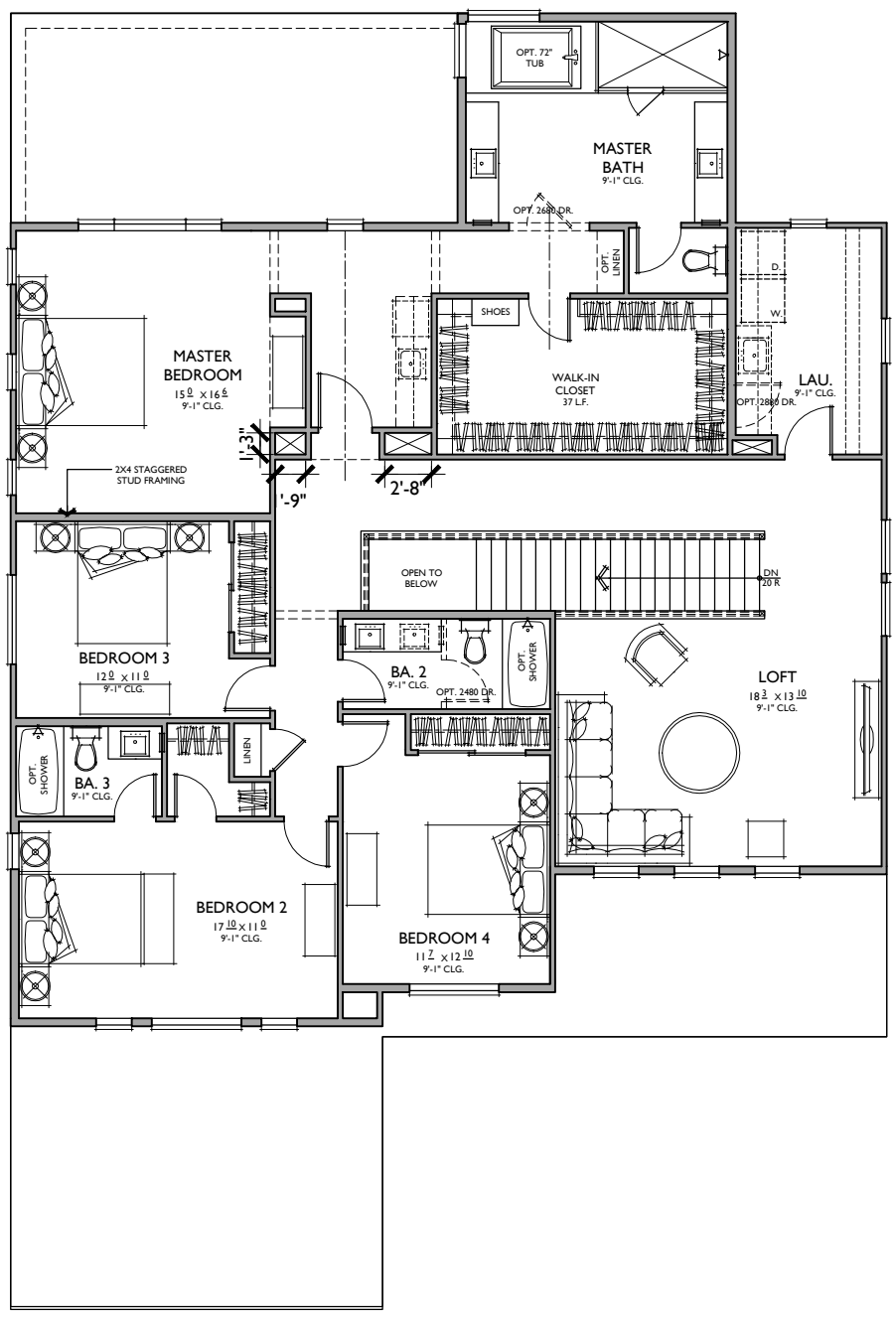

SECOND FLOOR

PLAN 50-3B

3,947 SQ. FT.

TARGET: 3,700 SQ. FT.

5 BEDROOMS / 3.5 BATHS + DEN + LOFT

4 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,830 SQ. FT.
2ND FLOOR	2,117 SQ. FT.
TOTAL	3,947 SQ. FT.
4 - CAR GARAGE	767 SQ. FT.
OUTDOOR LIVING	293 SQ. FT.
PORCH	74 SQ. FT.
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LOT COVERAGE (W/ OPEN AIR STRUCTURES 45% MAX)	35%

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PLAN 50-3B

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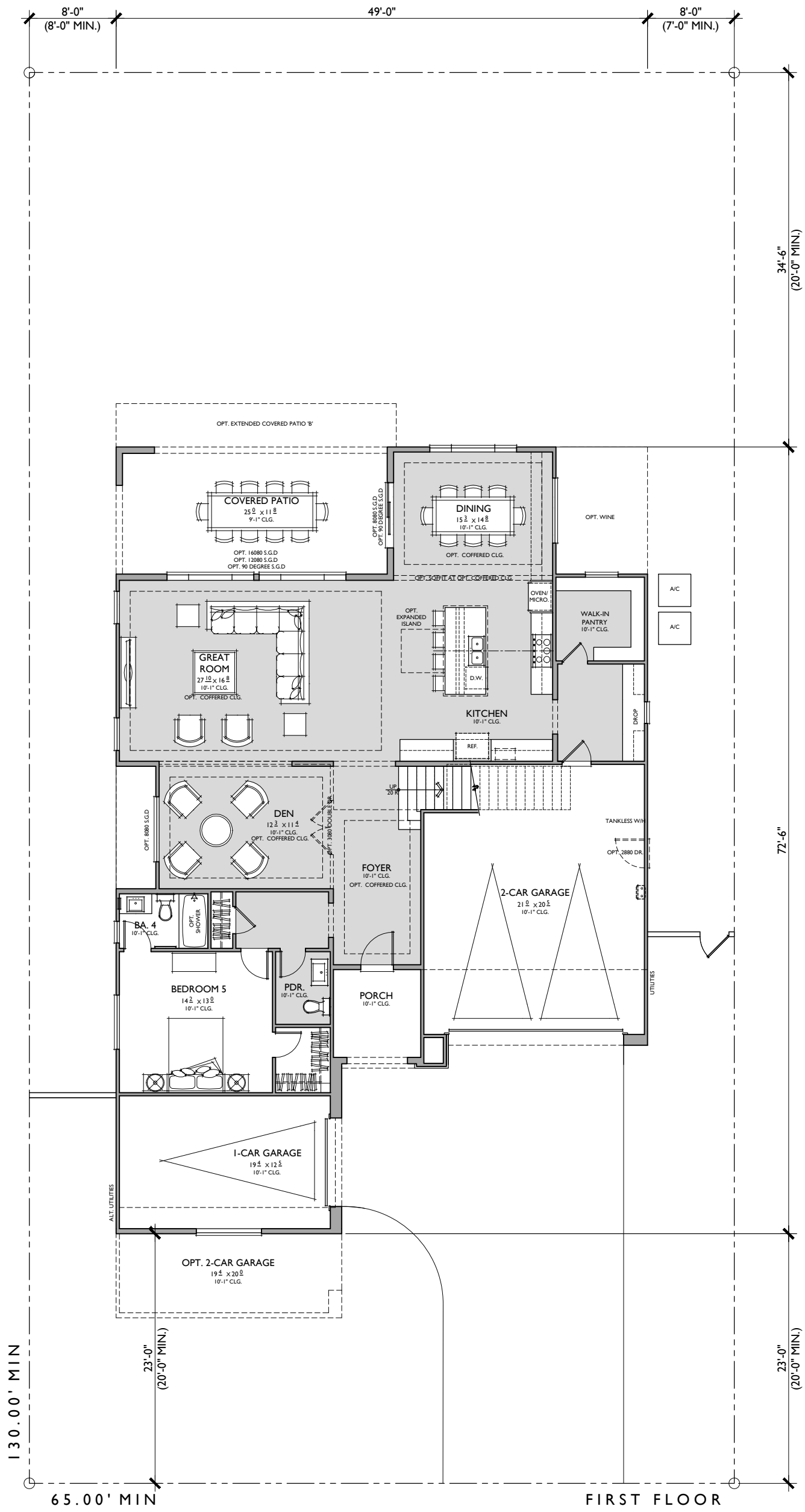

PLAN 50-3C

3,947 SQ. FT.

TARGET: 3,700 SQ. FT.

5 BEDROOMS / 3.5 BATHS + DEN + LOFT

4 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	1,830 SQ. FT.
2ND FLOOR	2,117 SQ. FT.
TOTAL	3,947 SQ. FT.
4 - CAR GARAGE	767 SQ. FT.
OUTDOOR LIVING	293 SQ. FT.
PORCH	74 SQ. FT.
LOT COVERAGE (40% MAX)	31%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 45% MAX)	35%

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PLAN 50-3C

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HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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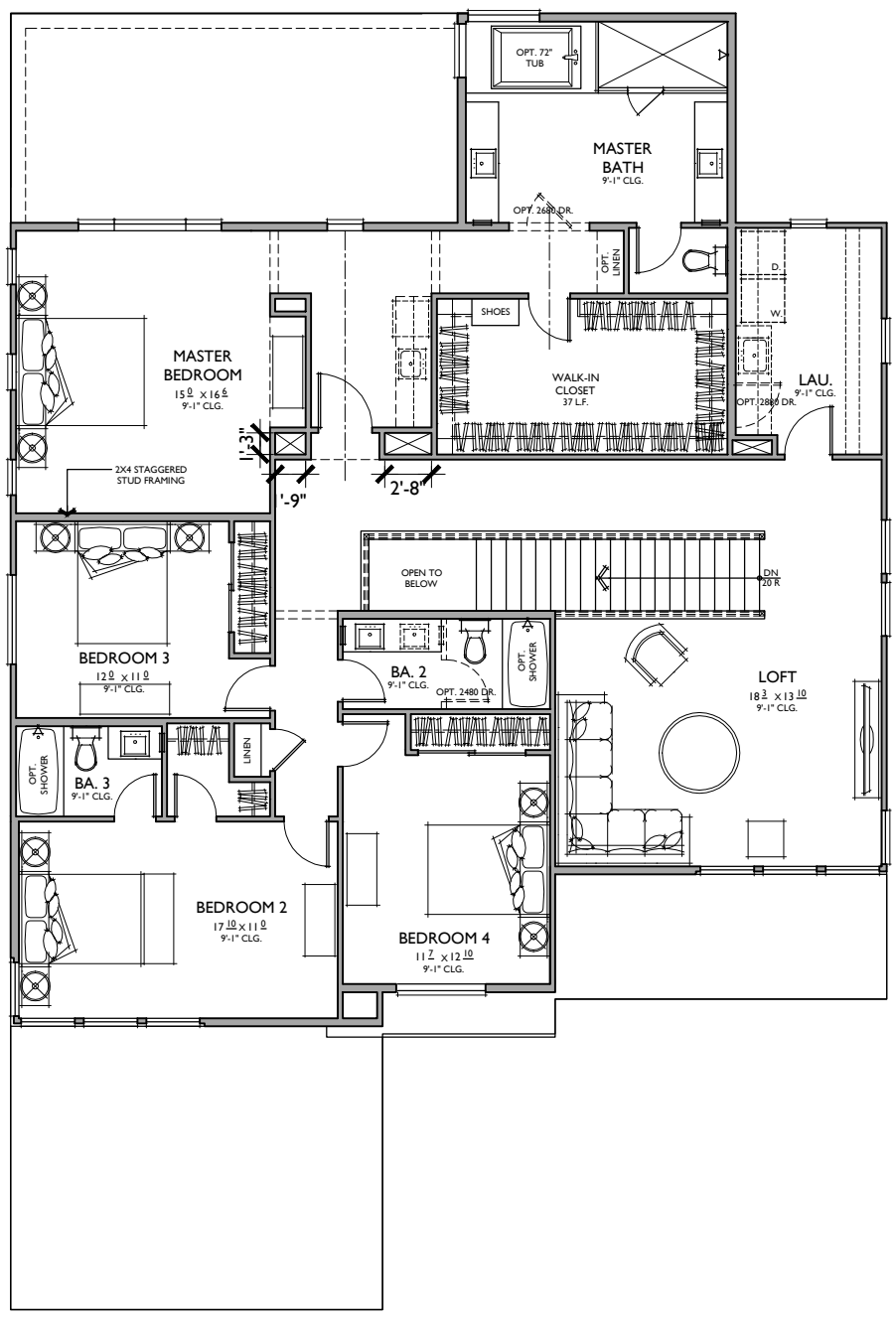

SECOND FLOOR

PLAN 50-3C

3,947 SQ. FT.

TARGET: 3,700 SQ. FT.

5 BEDROOMS / 3.5 BATHS + DEN + LOFT

4 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,830 SQ. FT.
2ND FLOOR	2,117 SQ. FT.
TOTAL	3,947 SQ. FT.
4 - CAR GARAGE	767 SQ. FT.
OUTDOOR LIVING	293 SQ. FT.
PORCH	74 SQ. FT.
LOT COVERAGE (40% MAX)	31%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 45% MAX)	35%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-3C

Reflects Modern Desert Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

08.27.18

MARACAY

REGISTERED ARCHITECT
CERTIFICATE NO. 29129
MARK W. KINER
Date Signed 8/28/18
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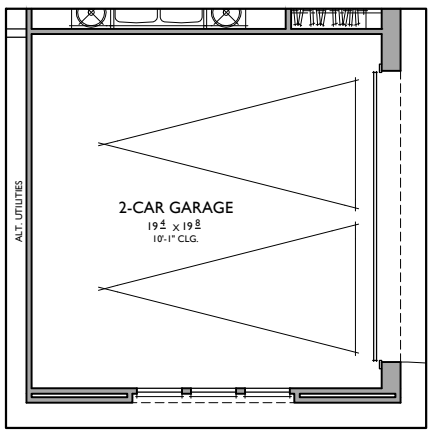
Exp. 06/30/19



OPT. 2-CAR GARAGE

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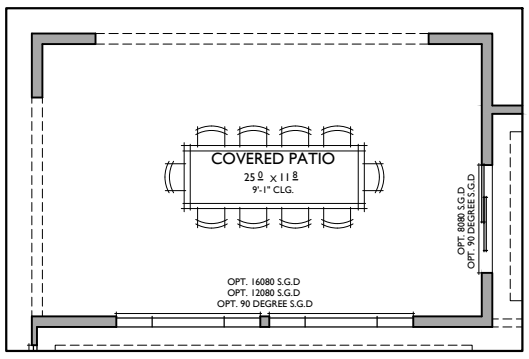
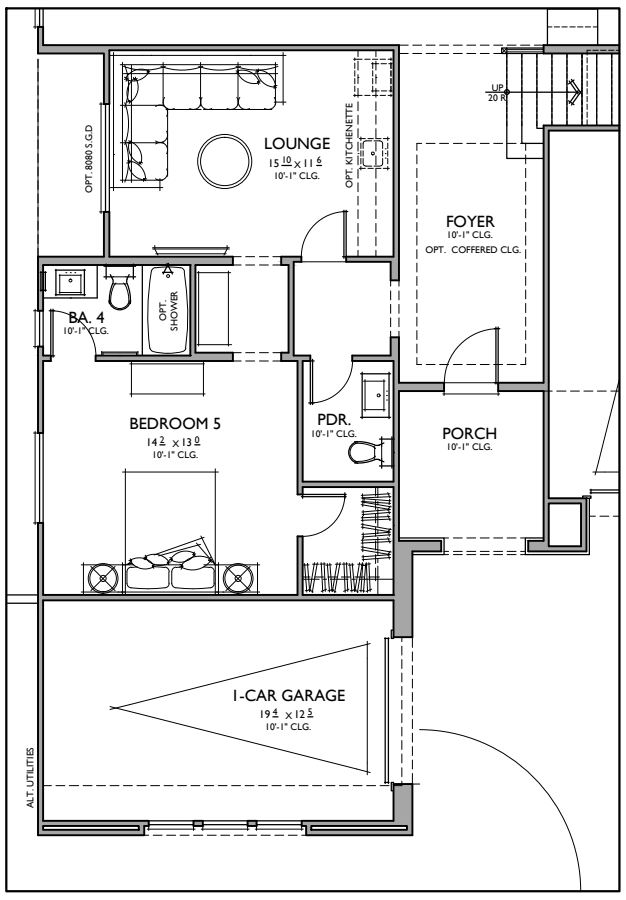


OPT. EXTENDED COVERED PATIO 'B'

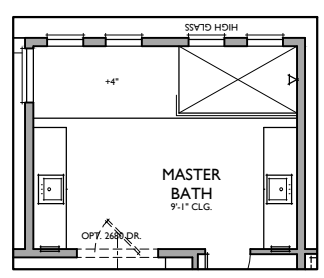
#####



OPTIONAL GENERATION SUITE

INSTEAD OF DEN

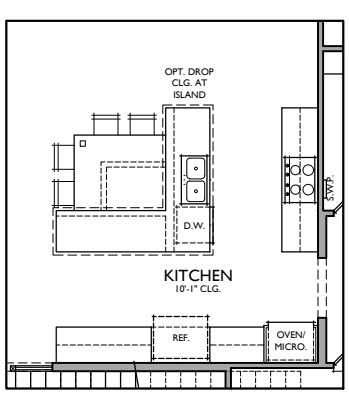
STR2665



FRAMELESS WALK-IN SHOWER

INSTEAD OF BATH TUB

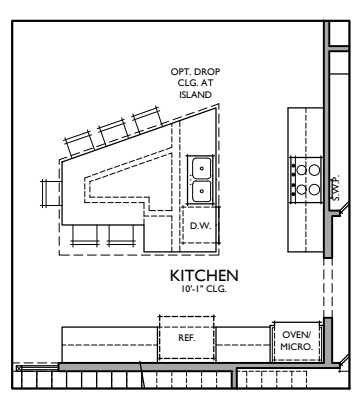
STR1508



OPTIONAL ISLAND 2

AT KITCHEN

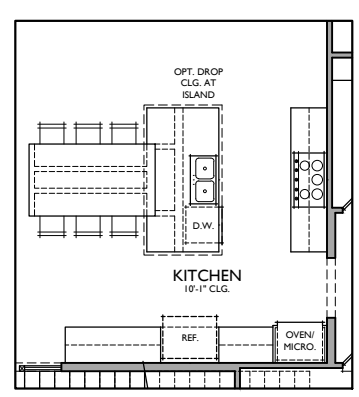
1/4"=1'-0"



OPTIONAL ISLAND 3

AT KITCHEN

1/4"=1'-0"



OPTIONAL ISLAND 1

AT KITCHEN

1/4"=1'-0"

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PLAN 50-3

Options

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

08.27.18

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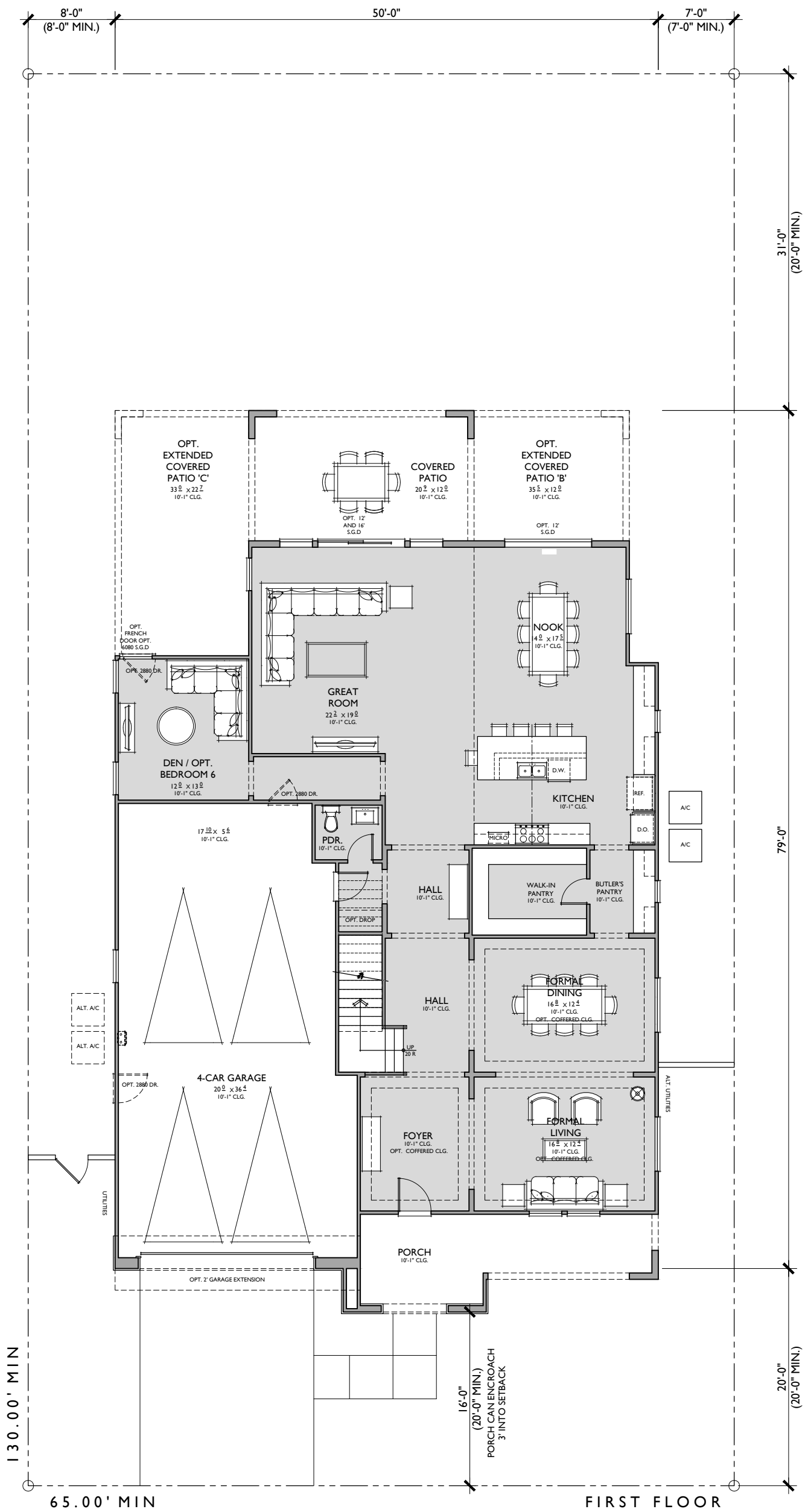

PLAN 50-4A

4634 SQ. FT.

TARGET: 4,580 SQ. FT.
5 BEDROOMS / 3.5 BATHS + DEN + LOFT + LIVING
4 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	2,159 SQ. FT.
2ND FLOOR	2475 SQ. FT.
TOTAL LIVING	**4,634 SQ. FT.**
4 - CAR GARAGE	894 SQ. FT.
COVERED OUTDOOR LIVING	249 SQ. FT.
PORCH	199 SQ. FT.
LOT COVERAGE (40% MAX)	36%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 45% MAX)	41%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-4A

Reflects Modern Hacienda Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

08.27.18

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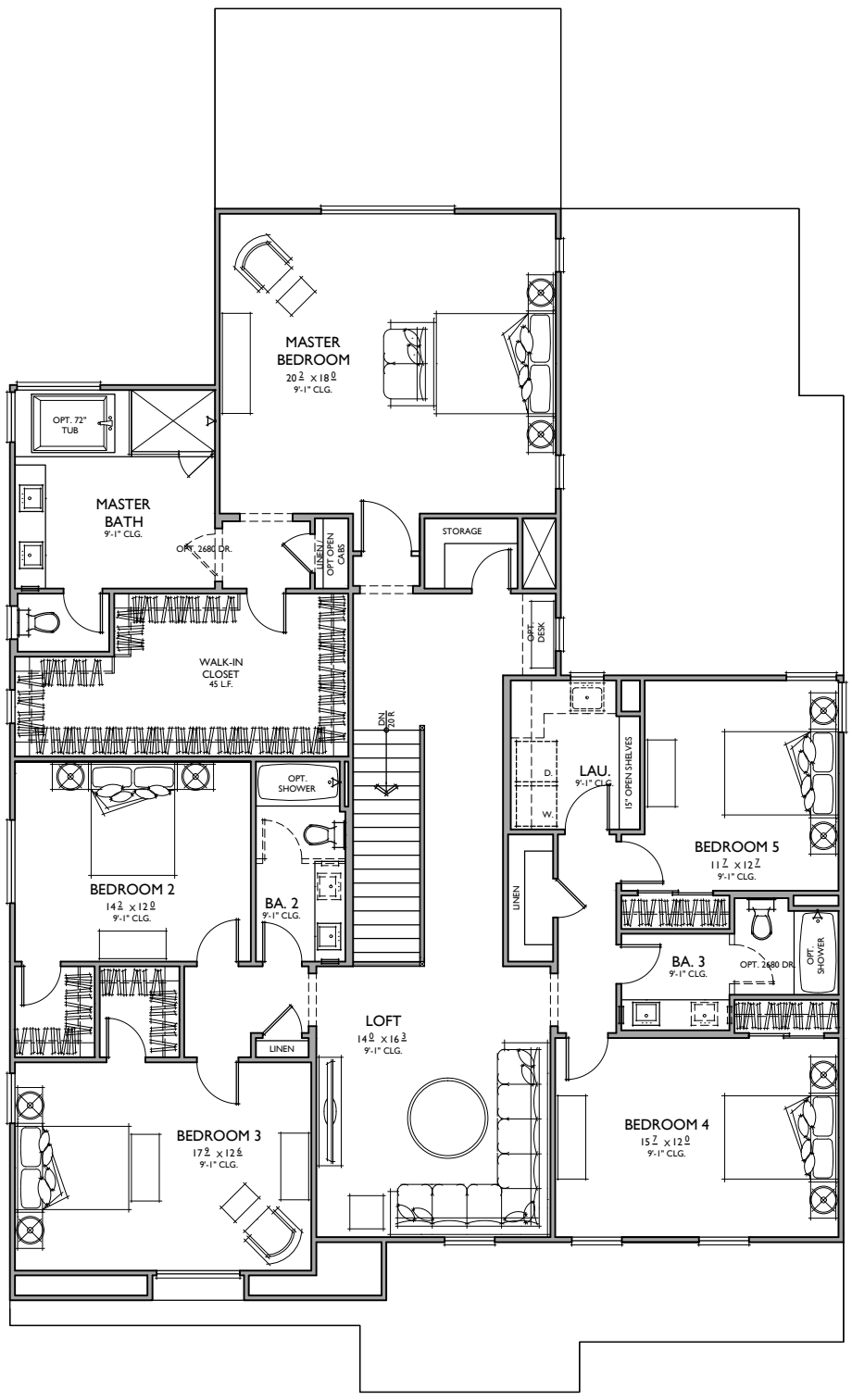

SECOND FLOOR

PLAN 50-4A

4634 SQ. FT.

TARGET: 4,580 SQ. FT.
5 BEDROOMS / 3.5 BATHS + DEN + LOFT + LIVING
4 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	2,159 SQ. FT.
2ND FLOOR	2475 SQ. FT.
TOTAL LIVING	**4,634 SQ. FT.**
4 - CAR GARAGE	894 SQ. FT.
COVERED OUTDOOR LIVING	249 SQ. FT.
PORCH	199 SQ. FT.
LOT COVERAGE (40% MAX)	36%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 45% MAX)	41%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-4A

Reflects Modern Hacienda Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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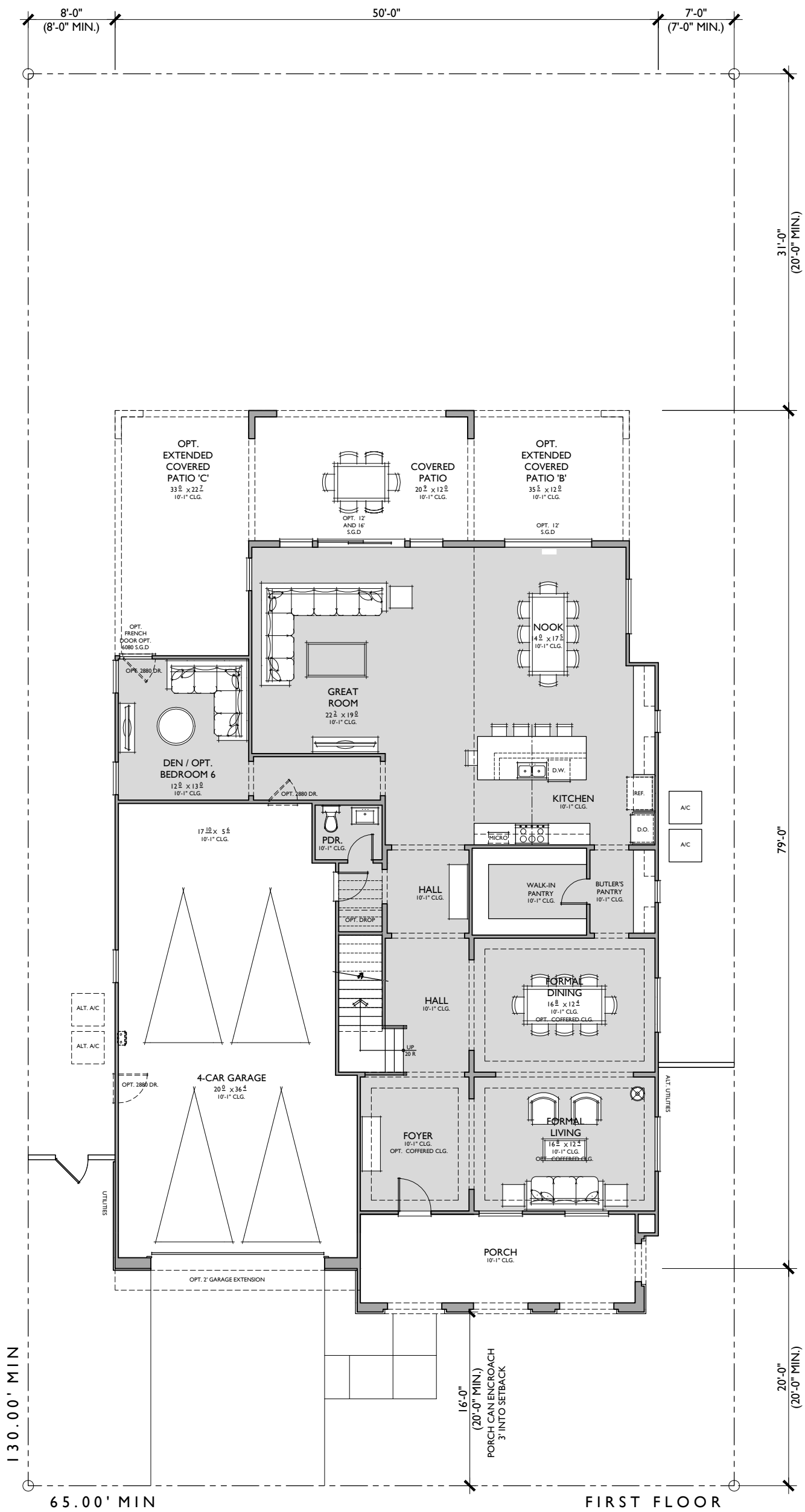

PLAN 50-4B

4634 SQ. FT.

TARGET: 4,580 SQ. FT.
5 BEDROOMS / 3.5 BATHS + DEN + LOFT + LIVING
4 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	2,159 SQ. FT.
2ND FLOOR	2475 SQ. FT.
TOTAL LIVING	**4,634 SQ. FT.**
4 - CAR GARAGE	894 SQ. FT.
COVERED OUTDOOR LIVING	249 SQ. FT.
PORCH	235 SQ. FT.
LOT COVERAGE (40% MAX)	36%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 45% MAX)	42%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-4B

Reflects Modern Farmhouse Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

08.27.18

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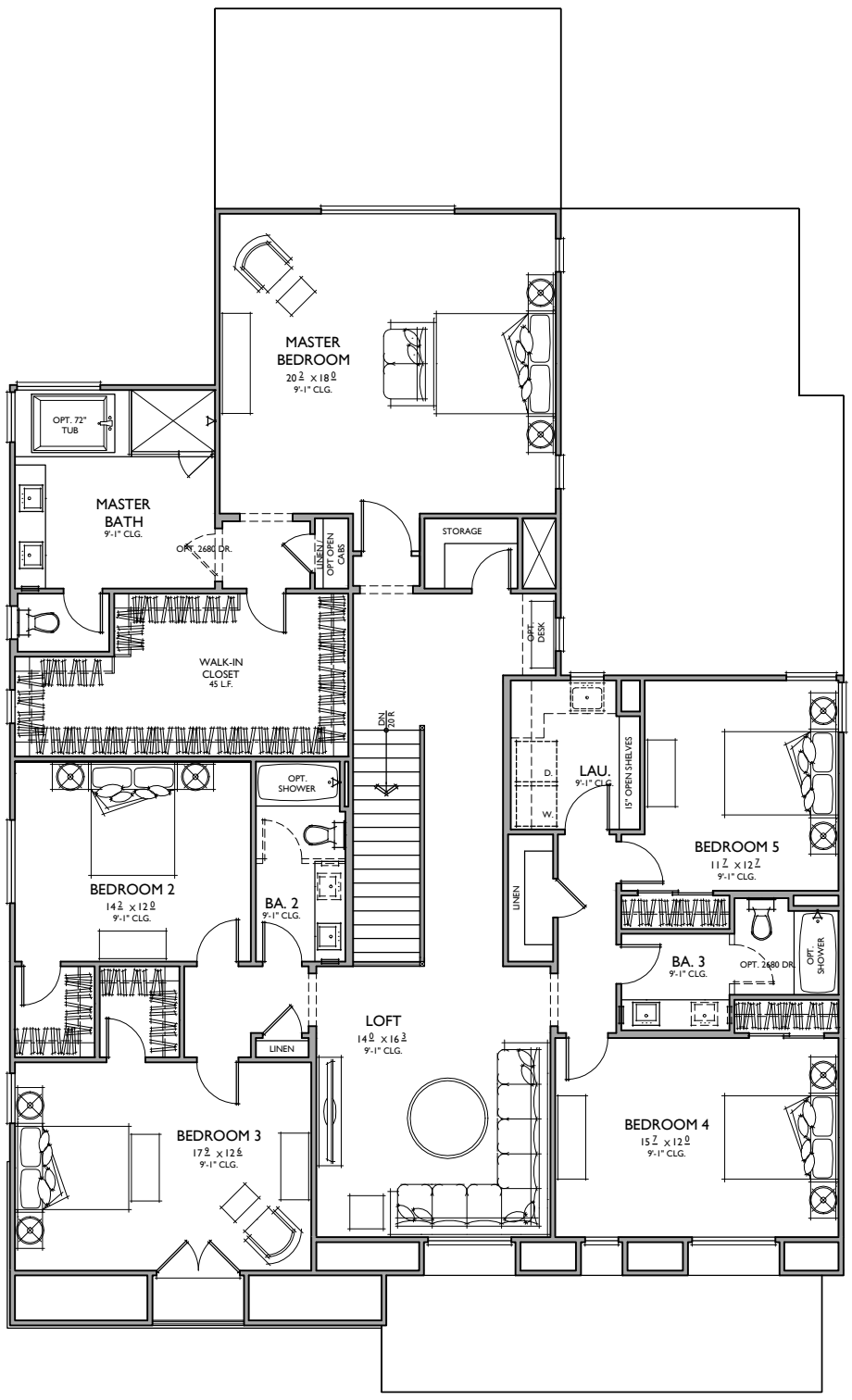

SECOND FLOOR

PLAN 50-4B

4634 SQ. FT.

TARGET: 4,580 SQ. FT.
5 BEDROOMS / 3.5 BATHS + DEN + LOFT + LIVING
4 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	2,159 SQ. FT.
2ND FLOOR	2475 SQ. FT.
TOTAL LIVING	**4,634 SQ. FT.**
4 - CAR GARAGE	894 SQ. FT.
COVERED OUTDOOR LIVING	249 SQ. FT.
PORCH	235 SQ. FT.
LOT COVERAGE (40% MAX)	36%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 45% MAX)	42%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-4B

Reflects Modern Farmhouse Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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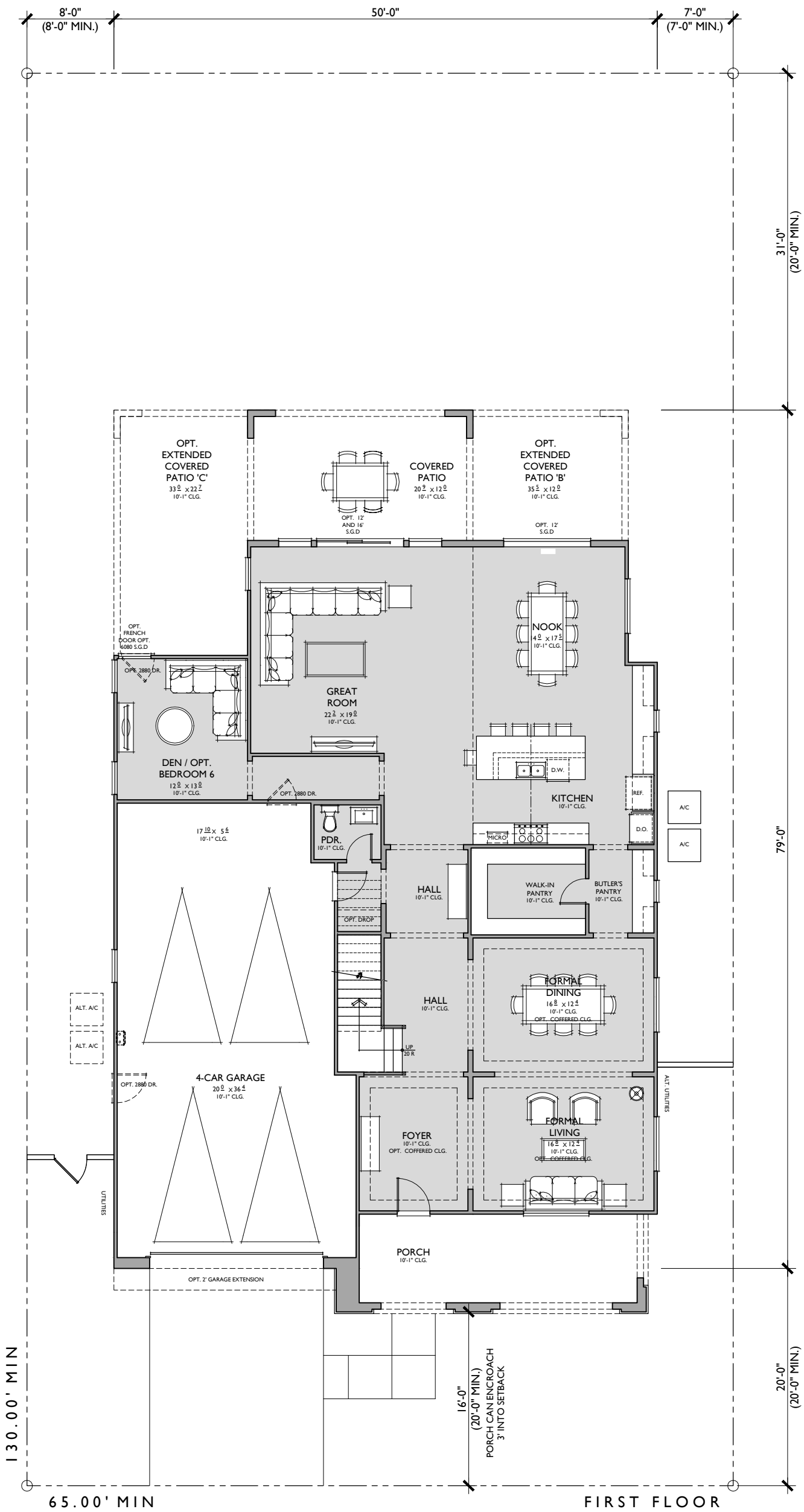

FIRST FLOOR

PLAN 50-4C

4668 SQ. FT.

TARGET: 4,580 SQ. FT.
5 BEDROOMS / 3.5 BATHS + DEN + LOFT + LIVING
4 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	2,159 SQ. FT.
2ND FLOOR	2509 SQ. FT.
TOTAL LIVING	**4,668 SQ. FT.**
4 - CAR GARAGE	894 SQ. FT.
COVERED OUTDOOR LIVING	249 SQ. FT.
PORCH	238 SQ. FT.
LOT COVERAGE (40% MAX)	36%
LOT COVERAGE (W/ OPEN AIR STRUCTURES 45% MAX)	42%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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PLAN 50-4C

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HAMSTRA - 50' PRODUCT

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SCALE: 3/32" = 1'-0" 566.18128

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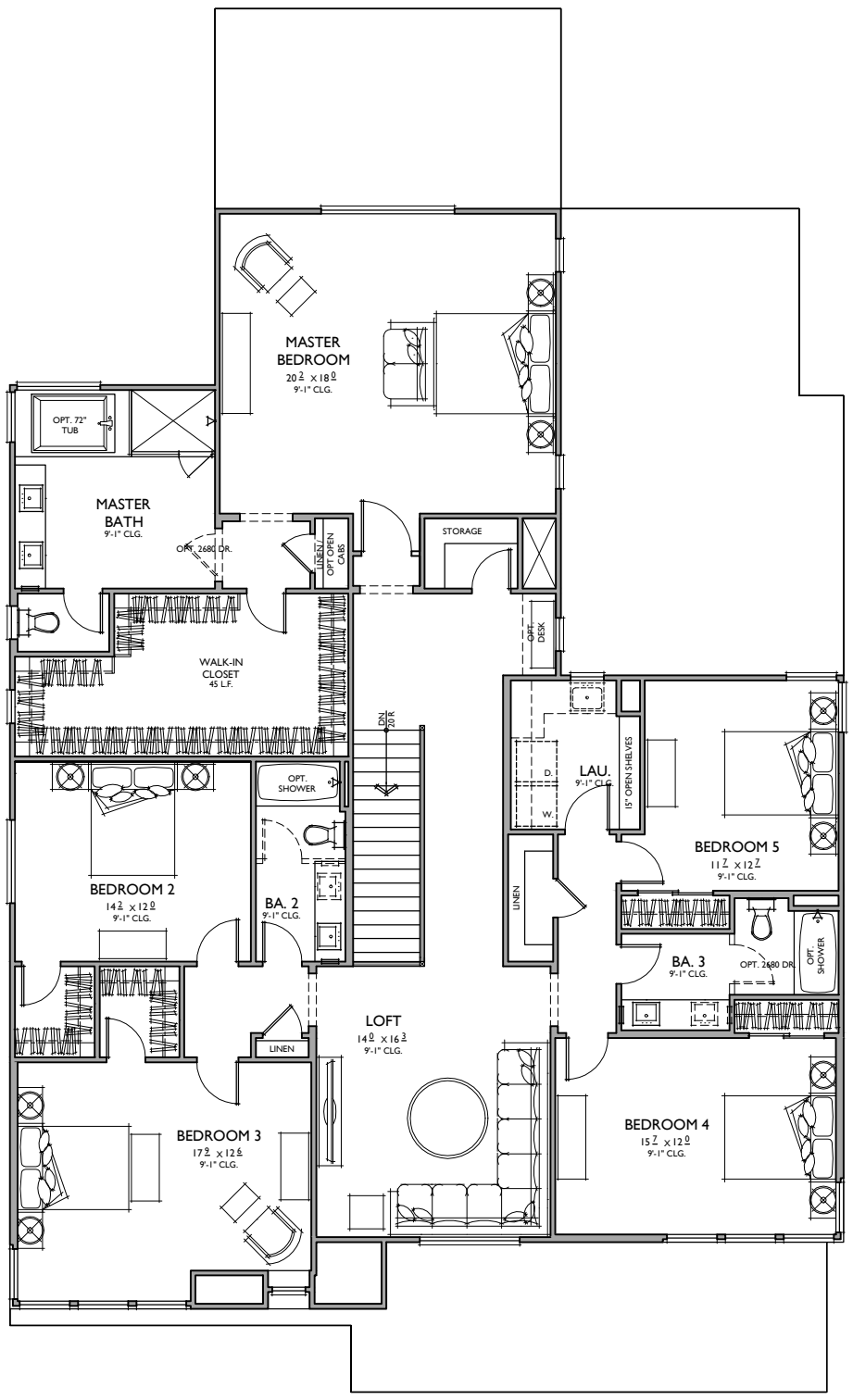

SECOND FLOOR

PLAN 50-4C

4668 SQ. FT.

TARGET: 4,580 SQ. FT.
5 BEDROOMS / 3.5 BATHS + DEN + LOFT + LIVING
4 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	2,159 SQ. FT.
2ND FLOOR	2509 SQ. FT.
TOTAL LIVING	**4,668 SQ. FT.**
4 - CAR GARAGE	894 SQ. FT.
COVERED OUTDOOR LIVING	249 SQ. FT.
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LOT COVERAGE (W/ OPEN AIR STRUCTURES 45% MAX)	42%

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PLAN 50-4C

Reflects Modern Desert Elevation

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

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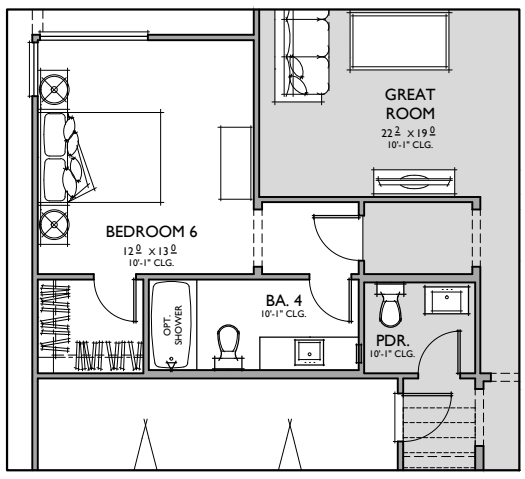
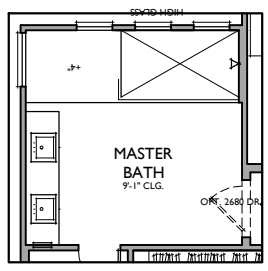


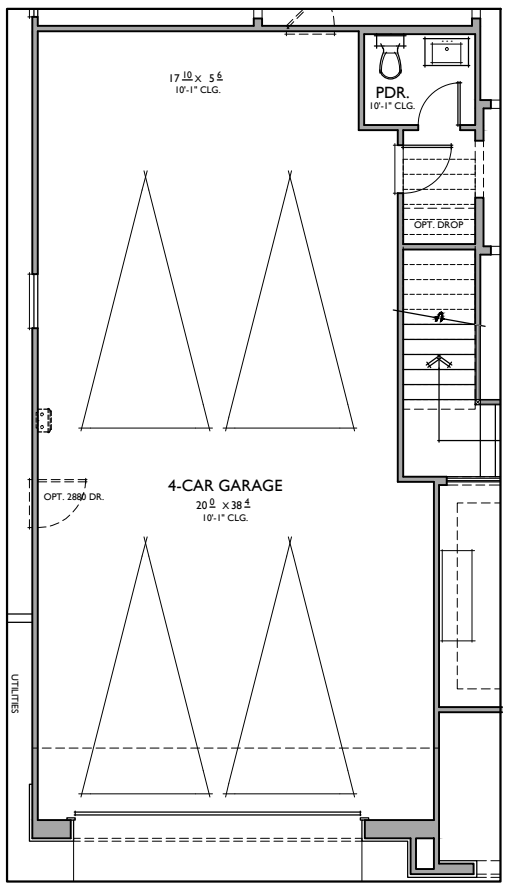
OPTIONAL BEDROOM 6

INSTEAD OF DEN (+100 SQ. FT.)



FRAMELESS WALK-IN SHOWER

INSTEAD OF BATH TUB



OPT. 2' GARAGE EXTENSION

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PLAN 50-4

Options

HAMSTRA - 50' PRODUCT

Gilbert, Arizona

SCALE: 3/32" = 1'-0" 566.18128

08.27.18

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MARACAY™

HAMSTRA PRODUCTS 50, 65 & 78

COLOR SELECTION BOOK
AUGUST 30, 2018

JOB #566-18127, 566-18128 & 566-18129

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MARACAY

HAMSTRA

PRODUCTS 50', 65' & 78'

JOB # 566-11827, 18128, 18129
COLOR SELECTION CHART

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ROOF: EAGLE **MORTAR:** ORCO BLENDED PRODUCT
PAINT: SHERWIN WILLIAMS
STONE: CORONADO
WROUGHT IRON: SW6990 CAVIAR
BRICK: CORONADO
GUTTERS & METAL ROOF: CUSTOM BILT METALS

AUGUST 30, 2018

	SCHEMES 1-4 ARE 'A' MODERN HACIENDA ELEVATIONS				SCHEMES 5-8 ARE 'B' MODERN FARMHOUSE ELEVATIONS			
SCHEME	**1**	**2**	**3**	**4**	**5**	**6**	**7**	**8**
FASCIA. EAVES, TRIM, HEADERS, POSTS, GARAGE DOORS & BEAMS	SW 7033 BRAINSTORM BRONZE	SW 6040 LESS BROWN	SW 7041 VAN DYKE BROWN	SW 6090 JAVA	SW 9168 ELEPHANT EAR	SW 7566 WESTHIGHLAND WHITE	SW 7042 SHOJI WHITE	SW 7047 PORPOISE
SHUTTERS & FRONT ENTRY DOOR	SW 1329 METRO BROWN	SW 6194 BASIL	SW 6250 GRANITE PEAK	SW 6230 RAINSTORM	SW 7674 PEPPERCORN	SW 9100 UMBER RUST	SW 6990 CAVIAR	SW 7615 SEA SERPEANT
BASE STUCCO	SW 7551 GREEK VILLA	SW 7541 GRECIAN IVORY	SW 6073 PERFECT GREIGE	SW 2822 DOWNING SAND	SW 7636 ORIGAMI WHITE	SW 7057 SILVER STRAND	SW 7658 GRAY CLOUDS	SW 7052 GRAY AREA
SIDING	----------	----------	----------	----------	SW 9168 ELEPHANT EAR	SW 9131 CORNWALL SLATE	SW 7042 SHOJI WHITE	SW 7047 PORPOISE
STONE	VENETIAN VILLA TEXAS CREAM	VENETIAN VILLA VERASILLES	VENETIAN VILLA PALAZZO	VALLEY COBBLE INDIAN SPRINGS	SAWTOOTH LEDGE NORTHLAND	SAWTOOTH LEDGE WHITE	AMALFI LEDGE POMPEII	SAWTOOTH LEDGE MOUNT VERNON
BRICK	----------	----------	----------	----------	----------	----------	----------	----------
GROUT	PEARL	PEARL	SOFT TAN	SESAME	DRYSTACK	DRYSTACK	DRYSTACK	DRYSTACK
WINDOW FRAME	TAN	TAN	TAN	TAN	BRONZE	BRONZE	BRONZE	BRONZE
'S' ROOF	3645	3680	SCC 8825	**3636**	----------	----------	----------	----------
FLAT ROOF	----------	----------	----------	----------	4884	**4883**	**4697**	4602
METAL ROOF	----------	----------	----------	----------	STORM GRAY	OLD TOWNE GRAY	STORM GRAY	MUSKET
GUTTERS & DOWNSPOUTS	BRONZE	BRONZE	BRONZE	BEAVER BROWN	PEBBLESTONE CLAY	WHITE	WHITE	BRONZE

MARACAY

HAMSTRA

PRODUCTS 50', 65' & 78'

JOB # 566-11827, 18128, 18129
COLOR SELECTION CHART

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ROOF: EAGLE **MORTAR:** ORCO BLENDED PRODUCT
PAINT: SHERWIN WILLIAMS
STONE: CORONADO
WROUGHT IRON: SW6990 CAVIAR
BRICK: CORONADO, ENDICOTT
GUTTERS & METAL ROOF: CUSTOM BILT METALS

AUGUST 30, 2018

	SCHEMES 9-12 ARE 'C' MODERN RANCH ELEVATIONS				SCHEMES 13-16 ARE 'D' MODERN DESERT ELEVATIONS			
SCHEME	**9**	**10**	**11**	**12**	**13**	**14**	**15**	**16**
FASCIA. EAVES, TRIM, HEADERS, POSTS, GARAGE DOORS & BEAMS	SW 7018 DOVETAIL	SW 6076 TURKISH COFFEE	SW 7674 PEPPERCORN	SW 7665 WALL STREET	SW 6173 COCOON	SW 7047 PORPOISE	SW 7558 MEDICI IVORY	SW 2077 TUDOR HOUSE BROWN
SHUTTERS & FRONT ENTRY DOOR	SW 2865 CLASSICAL YELLOW	SW 7603 POOLHOUSE	SW 6635 DETERMINED ORANGE	SW 1329 METRO BROWN	SW 6480 LAGOON	SW 7619 LABRADORITE	SW 2724 BLACK CHERRY	SW 7593 RUSTIC RED
BASE STUCCO	SW 7563 RESTFUL WHITE	SW 7534 OUTERBANKS	SW 7015 REPOSE	SW 9174 MOTH WING	SW 7738 CARGO PLANTS	SW 7051 ANALYTICAL GRAY	SW 6164 SVELTE SAGE	SW 7522 MEADOWLARK
ACCENT STUCCO	----------	----------	----------	----------	SW 7546 PRAIRIE GRASS	SW 7647 CRUSHED ICE	SW 2841 WEATEHRED SHINGLE	SW 7037 BALANCE BEIGE
SIDING	----------	----------	----------	----------	SW 7067 CITYSCAPE	SW 9089 LLAMA WOOL	SW 7558 MEDICI IVORY	SW 7670 GRAY SHINGLE
STONE	----------	----------	----------	----------	CHISELED LIMESTONE CREAM	CHISELED LIMESTONE SILVER ASH	SAND CANYON FLAGSTONE DESERT BEIGE	SAND CANYON FLAGSTONE PALOMAR BLEND
BRICK	SCULPTURED BRICK EAGLE BUFF	SCULPTURED BRICK WHEAT	BELGIAN BRICK BEAR CREEK	SCULPTURED BRICK ASPEN	ENDICOTT NORMAN LIGHT SANDSTONE (MUST MEET PCI SPECIFICATION)	ENDICOTT NORMAN LIGHT GREY BLEND (MUST MEET PCI SPECIFICATION)	ENDICOTT NORMAN MED IRONSPOT #77 (MUST MEET PCI SPECIFICATION)	ENDICOTT NORMAN MED IRONSPOT #46 (MUST MEET PCI SPECIFICATION)
GROUT (ORCO)	PEARL	SOFT TAN	SOFT TAN	KHAKI	LIGHT KHAKI FLUSHED VERTICAL JOINTS & RAKED HORIZONTAL JOINTS	LIGHT KHAKI FLUSHED VERTICAL JOINTS & RAKED HORIZONTAL JOINTS	LIGHT KHAKI FLUSHED VERTICAL JOINTS & RAKED HORIZONTAL JOINTS	LIGHT KHAKI FLUSHED VERTICAL JOINTS & RAKED HORIZONTAL JOINTS
WINDOW FRAME	BRONZE	BRONZE	BRONZE	BRONZE	BRONZE	BRONZE	BRONZE	BRONZE
FLAT ROOF	5511	5502	**5687**	**5634**	**4602**	**4883**	4634	**4680**
METAL ROOF	ZINC GRAY	WEATHERED COPPER	MIDNIGHT BRONZE	STORM GRAY	----------	----------	----------	----------
GUTTERS & DOWNSPOUTS	OLD TOWN GRAY	MUSKET	OLD TOWN GRAY	OLD TOWN GRAY	BRONZE	BRONZE	WHITE	MUSKET

SCHEME 1 - MODERN HACIENDA ELEVATION

'S' ROOF

FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS

SHUTTERS & FRONT ENTRY DOOR

BASE STUCCO

STONE

MARACAY

HAMSTRA
PRODUCTS 50, 65 & 78

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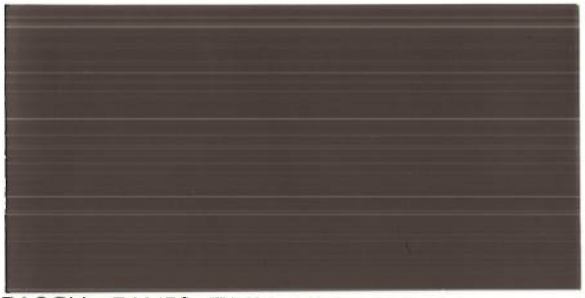
SCHEME 2 - MODERN HACIENDA ELEVATION

'S' ROOF

BASE STUCCO



FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS

SHUTTERS & FRONT ENTRY DOOR

STONE

MARACAY

HAMSTRA
PRODUCTS 50, 65 & 78

Bassenian | Lagoni
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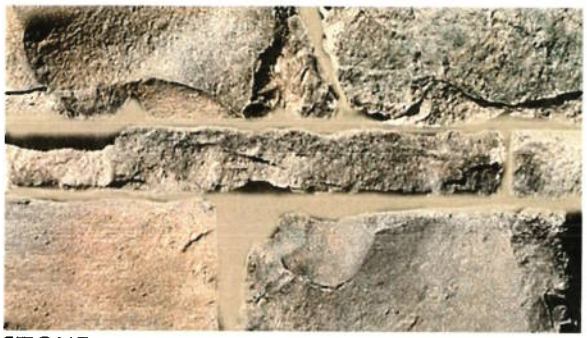
SCHEME 3 - MODERN HACIENDA ELEVATION

'S' ROOF

BASE STUCCO

FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS

SHUTTERS & FRONT ENTRY DOOR



STONE

MARACAY

HAMSTRA
PRODUCTS 50, 65 & 78

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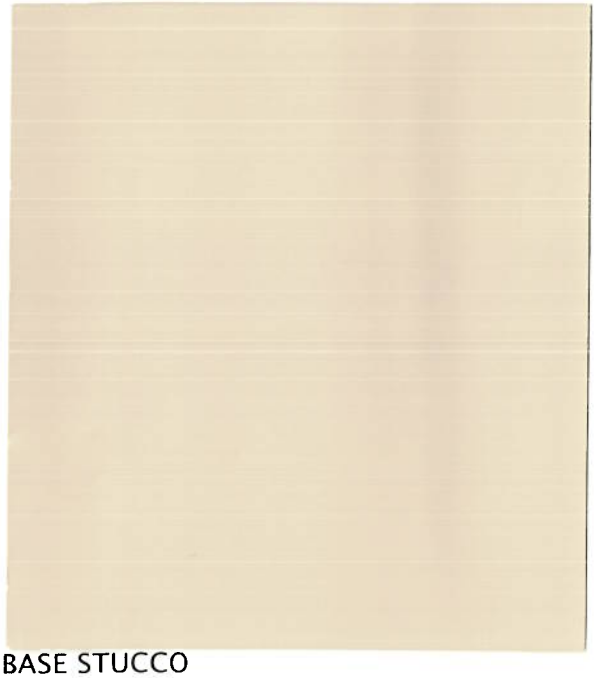
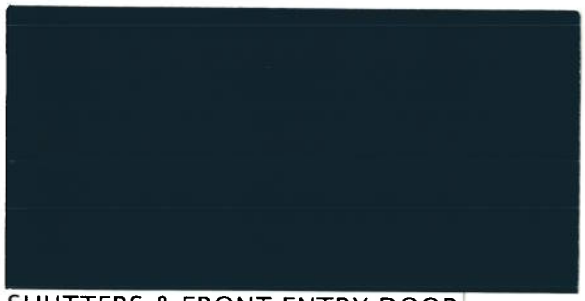
SCHEME 4 - MODERN HACIENDA ELEVATION

'S' ROOF



BASE STUCCO

FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS



SHUTTERS & FRONT ENTRY DOOR

STONE

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HAMSTRA
PRODUCTS 50, 65 & 78

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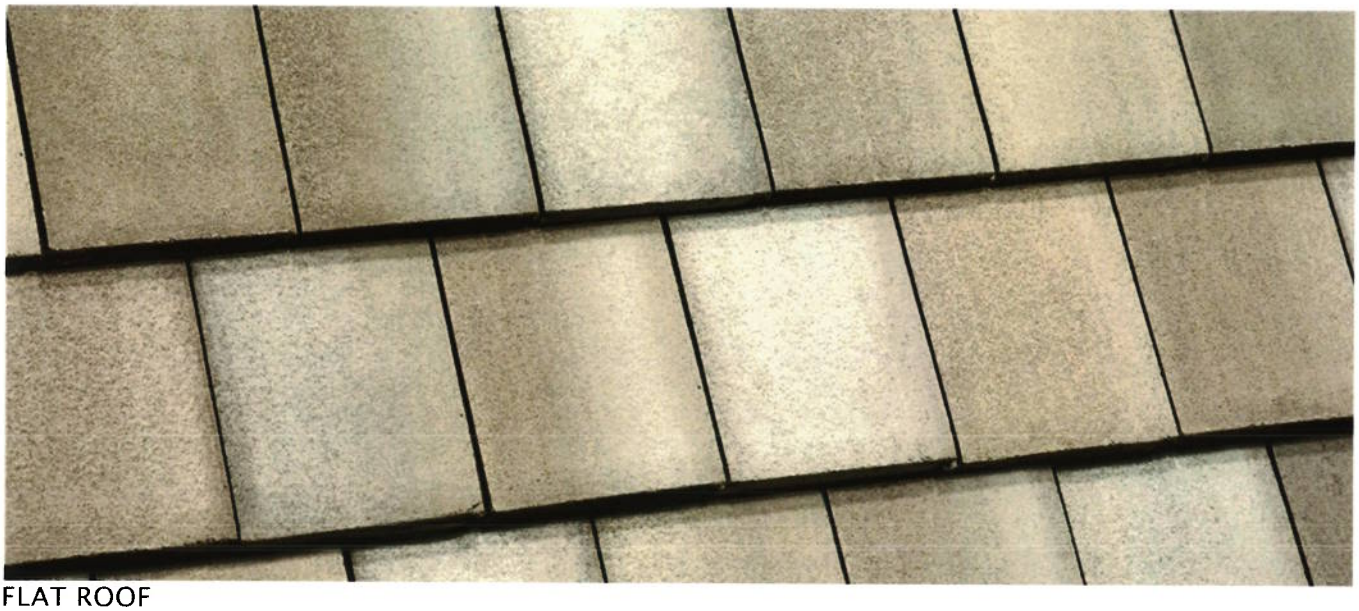
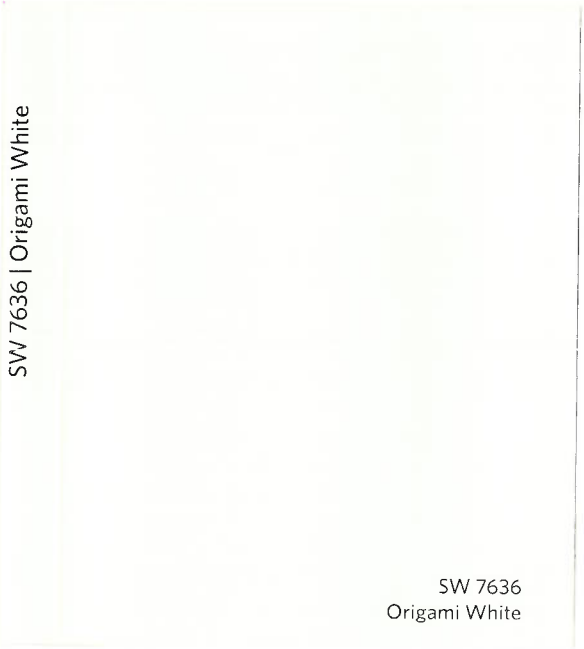
SCHEME 5 - MODERN FARMHOUSE ELEVATION



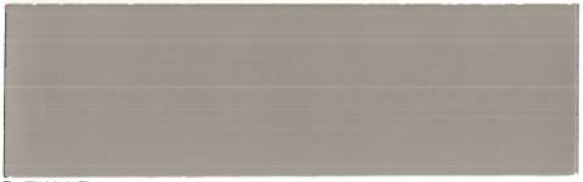
FLAT ROOF



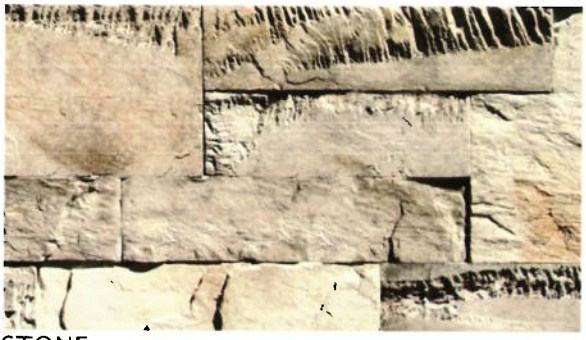
BASE STUCCO

FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS

SHUTTERS & FRONT ENTRY DOOR



SIDING



STONE

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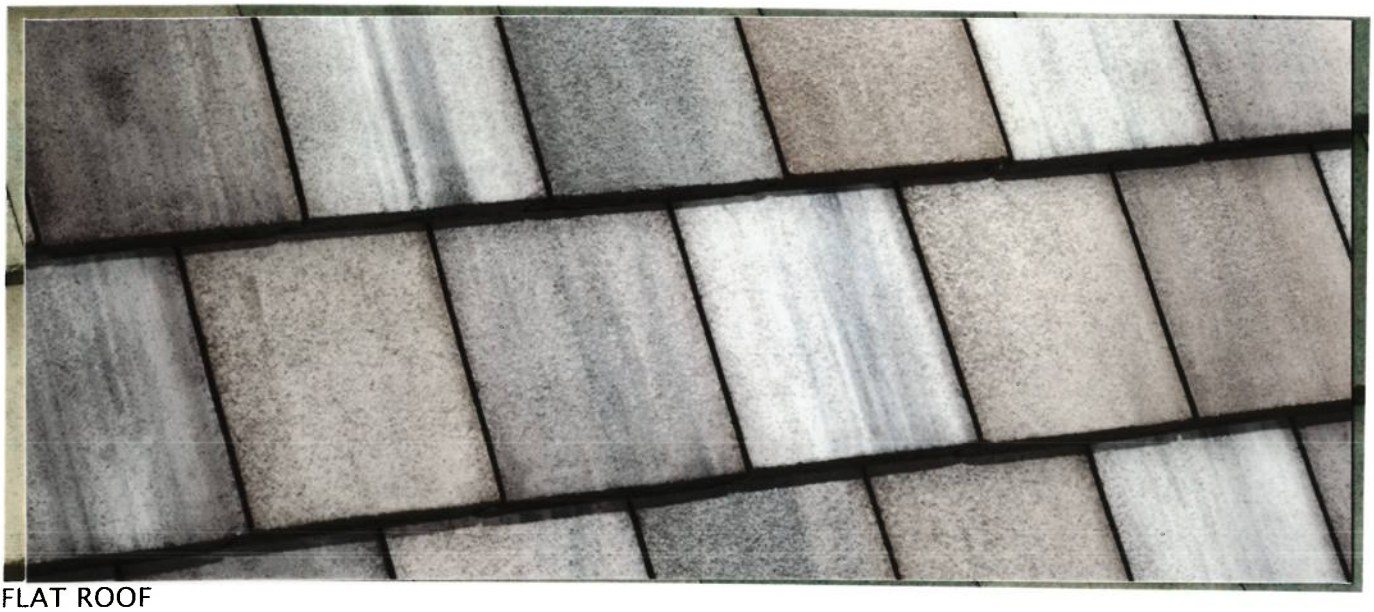
SCHEME 6 - MODERN FARMHOUSE ELEVATION



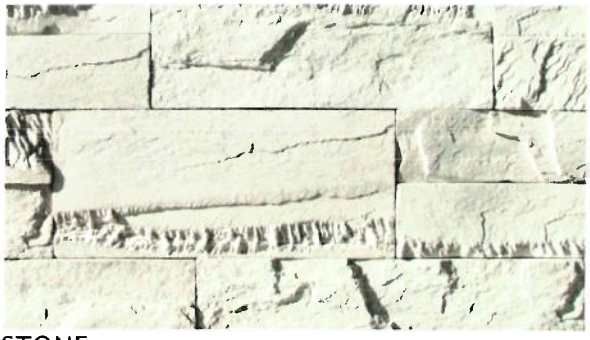
FLAT ROOF

BASE STUCCO

FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS

SHUTTERS & FRONT ENTRY DOOR

SIDING



STONE

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SCHEME 7 - MODERN FARMHOUSE ELEVATION

FLAT ROOF

BASE STUCCO

FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS

SHUTTERS & FRONT ENTRY DOOR

SIDING

STONE

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PRODUCTS 50, 65 & 78

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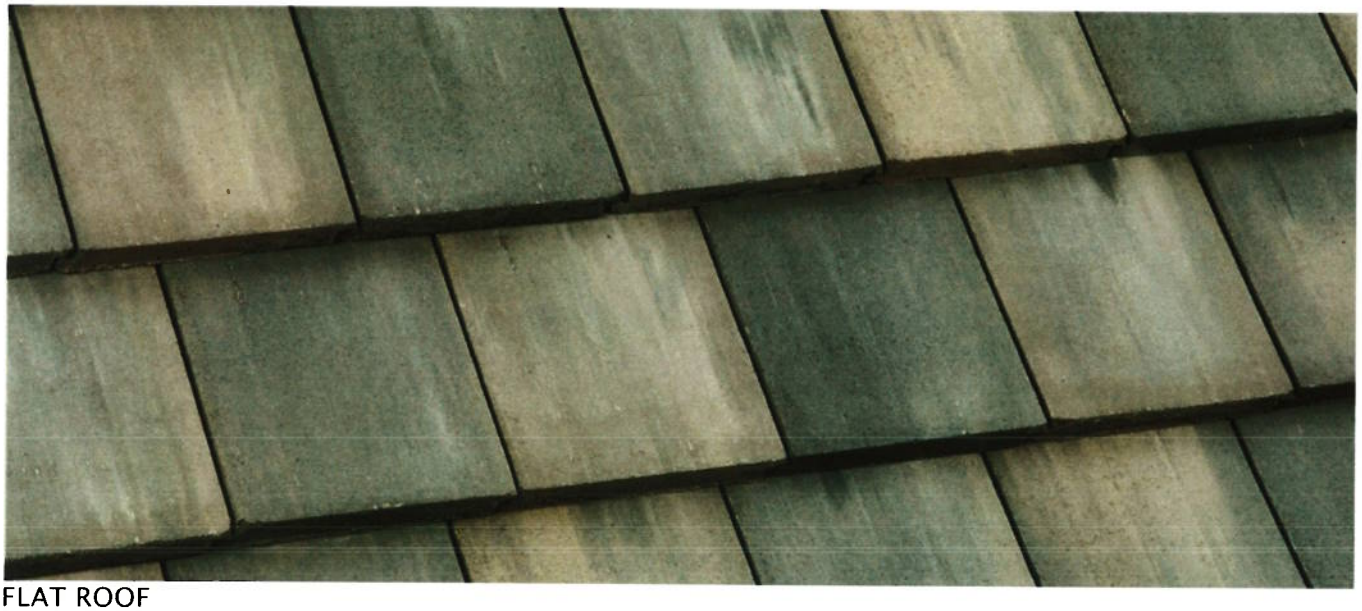
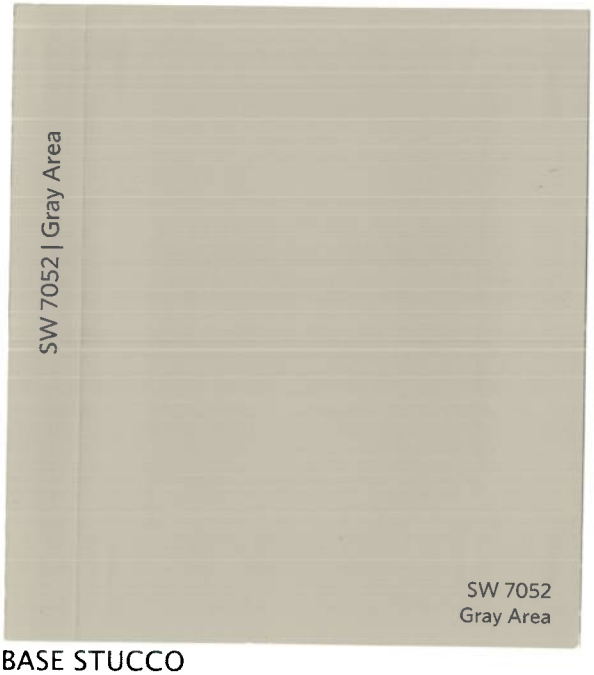
SCHEME 8 - MODERN FARMHOUSE ELEVATION

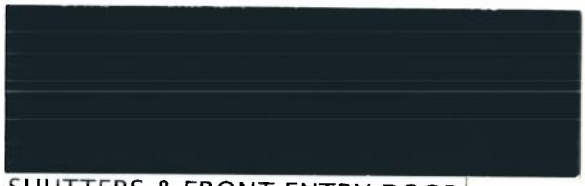


FLAT ROOF



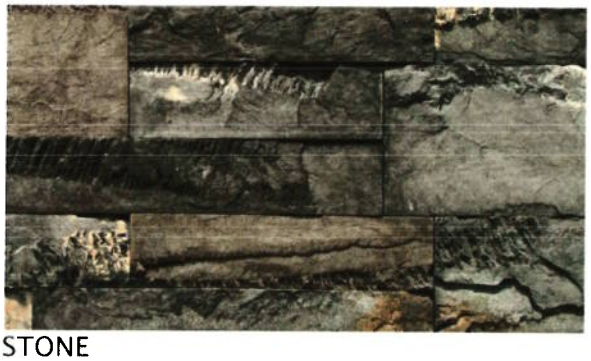
BASE STUCCO

FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS



SHUTTERS & FRONT ENTRY DOOR

SIDING



STONE

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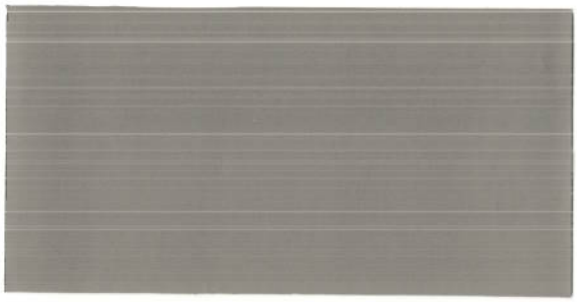
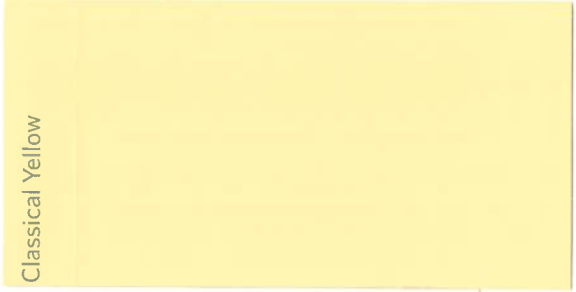
SCHEME 9 - MODERN RANCH ELEVATION

FLAT ROOF

BASE STUCCO



FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS



SHUTTERS & FRONT ENTRY DOOR

BRICK

MARACAY

HAMSTRA
PRODUCTS 50, 65 & 78

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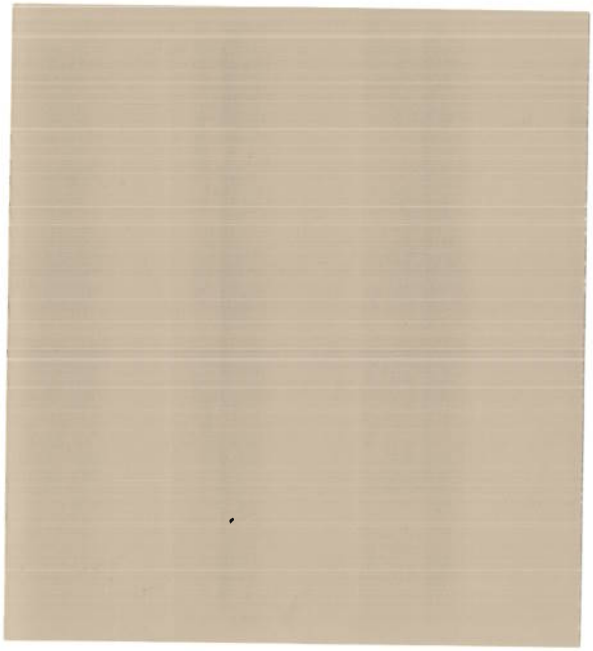
SCHEME 10 - MODERN RANCH ELEVATION

FLAT ROOF



BASE STUCCO

FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS

SHUTTERS & FRONT ENTRY DOOR

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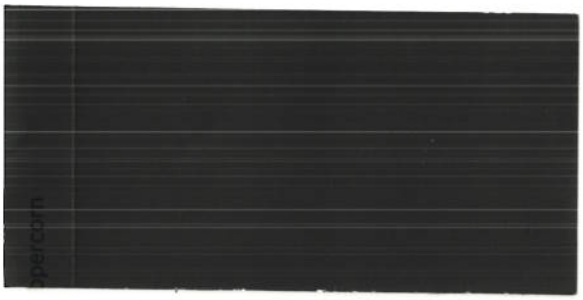
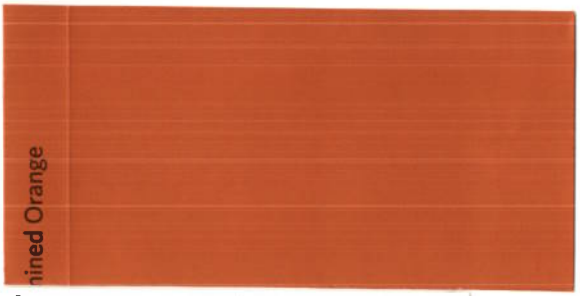
SCHEME 11 - MODERN RANCH ELEVATION

FLAT ROOF

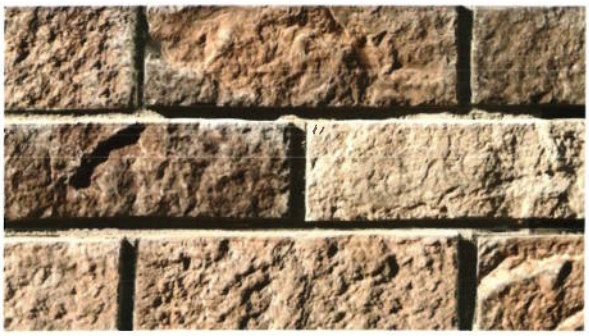
BASE STUCCO



FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS



SHUTTERS & FRONT ENTRY DOOR



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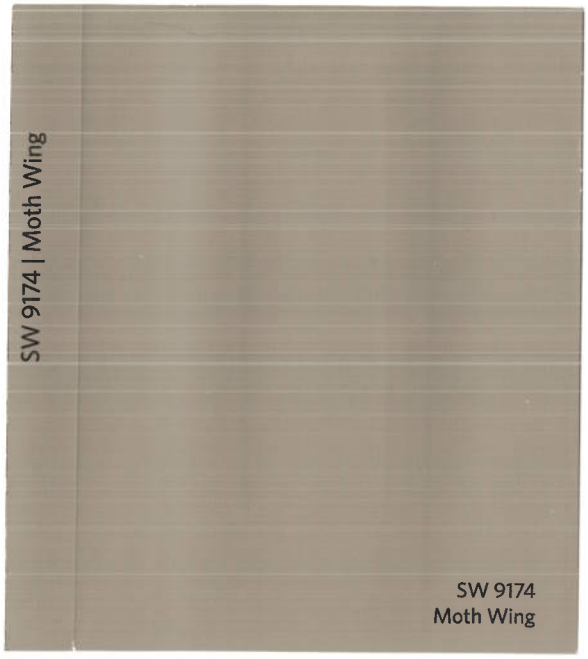
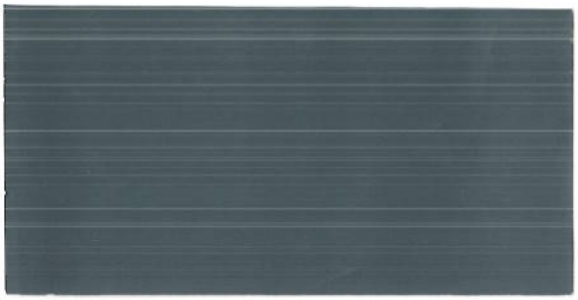
SCHEME 12 - MODERN RANCH ELEVATION

FLAT ROOF



BASE STUCCO



FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS

SHUTTERS & FRONT ENTRY DOOR

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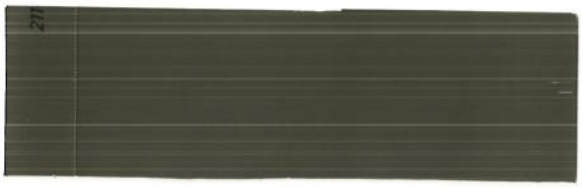
SCHEME 13 - MODERN DESERT ELEVATION

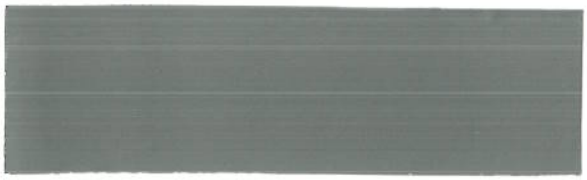
FLAT ROOF

BASE STUCCO



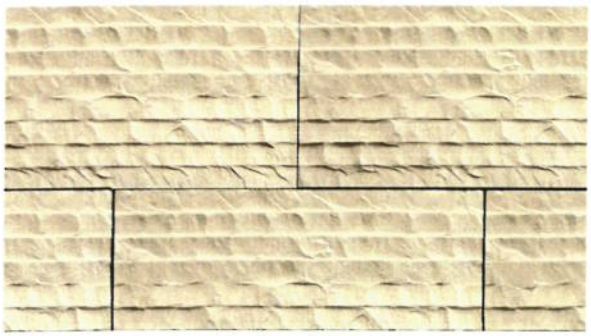
FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS

SHUTTERS & FRONT ENTRY DOOR



SIDING

ACCENT STUCCO



STONE

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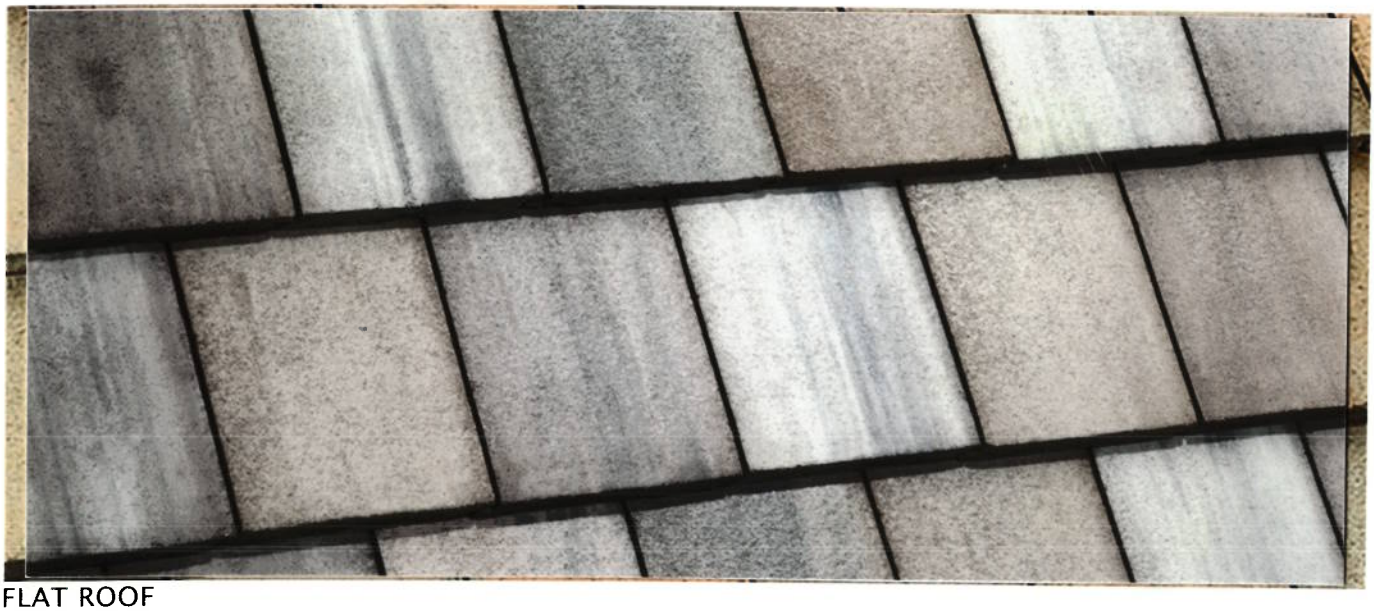
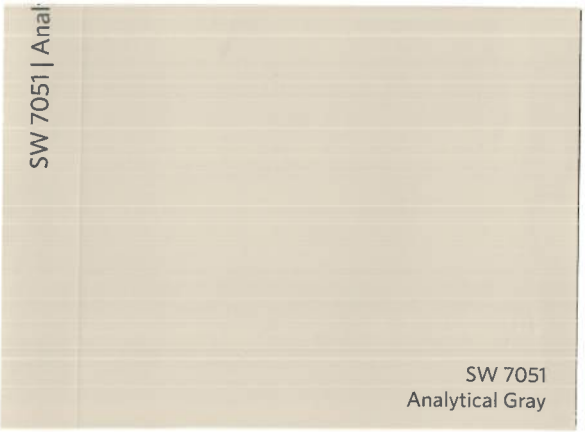
SCHEME 14 - MODERN DESERT ELEVATION



FLAT ROOF



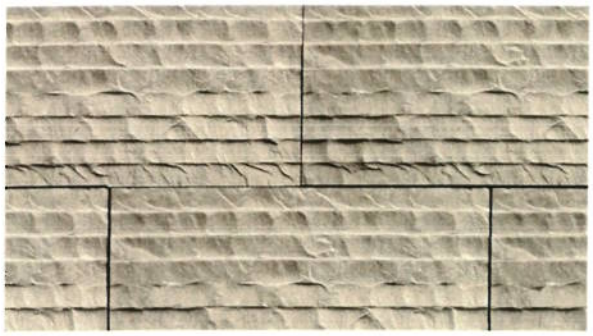
BASE STUCCO

FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS

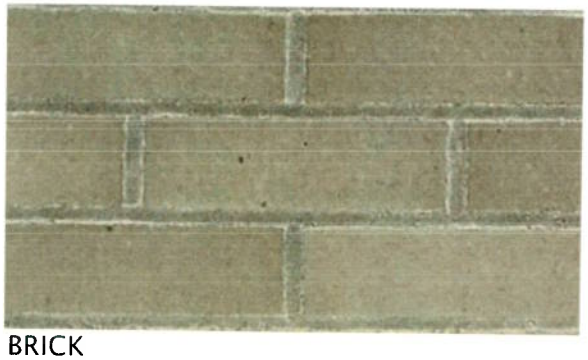
SHUTTERS & FRONT ENTRY DOOR

SIDING

ACCENT STUCCO



STONE



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SCHEME 15 - MODERN DESERT ELEVATION

FLAT ROOF

BASE STUCCO

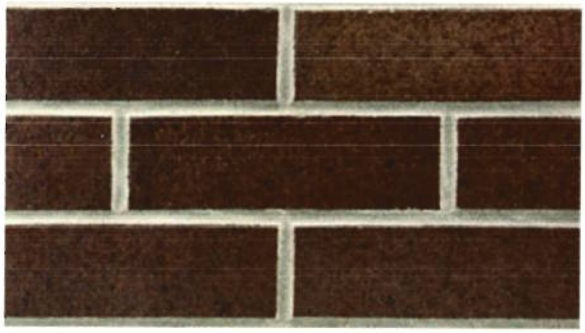
SIDING

FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS

SHUTTERS & FRONT ENTRY DOOR

ACCENT STUCCO

STONE



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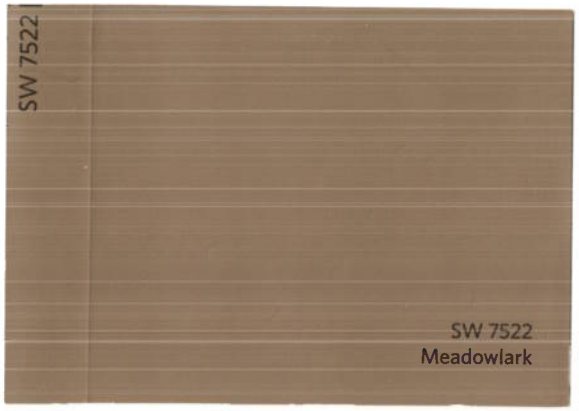
SCHEME 16 - MODERN DESERT ELEVATION

FLAT ROOF



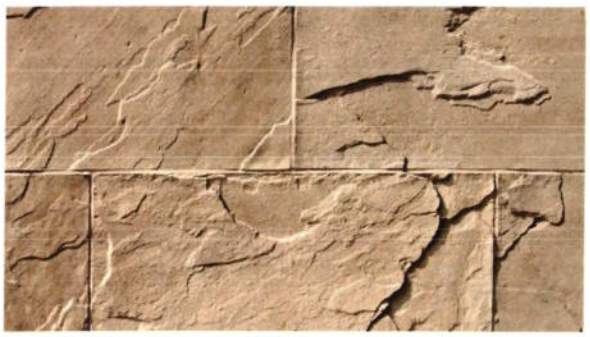
BASE STUCCO

SIDING

FASCIA, EAVES, TRIM, HEADERS, POSTS, GARAGE DOOR & BEAMS

SHUTTERS & FRONT ENTRY DOOR

ACCENT STUCCO



STONE

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Lot Fit Analysis for HAMSTRA
50's Series
Plan 50-1

Building Setbacks
Front Loaded Garage = 20'
Side Loaded Garage = 15'
Livable = 15'
Side Yard = 7' & 8'
Rear Setback = 20'

Zoning
SF-7

Special Condition Notes:
1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Incressed Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend
E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

LOT COVERAGE 45% (1-story)
40% (2-story)

Revision Date:

= Plan exceeds coverage

= Plan exceeds setback limits

= Additional 5% lot coverage allowed for open air patio / porches per LDC 2.104 F

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 50-1 - Elevation 'A'						Plan 50-1 - Elevation 'B'						Plan 50-1 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,490 S.F.	Max. Footprint Coverage % 3,828 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,447 S.F.	Max. Footprint Coverage % 3,785 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,558 S.F.	Max. Footprint Coverage % 3,896 S.F.
45	3,4,7	9,100	Y	15'	7'/8'	20'	38.4%	42.1%	Y	15'	7'/8'	20'	37.9%	41.6%	Y	15'	7'/8'	20'	39.1%	42.8%
46	3	9,100	Y	15'	7'/8'	20'	38.4%	42.1%	Y	15'	7'/8'	20'	37.9%	41.6%	Y	15'	7'/8'	20'	39.1%	42.8%
47	3	9,064	Y	15'	7'/8'	20'	38.5%	42.2%	Y	15'	7'/8'	20'	38.0%	41.8%	Y	15'	7'/8'	20'	39.3%	43.0%
48	3	12,353	Y	15'	7'/8'	20'	28.3%	31.0%	Y	15'	7'/8'	20'	27.9%	30.6%	Y	15'	7'/8'	20'	28.8%	31.5%
49	3	19,200	Y	15'	7'/8'	20'	18.2%	19.9%	Y	15'	7'/8'	20'	18.0%	19.7%	Y	15'	7'/8'	20'	18.5%	20.3%
50	3	9,801	Y	15'	7'/8'	20'	35.6%	39.1%	Y	15'	7'/8'	20'	35.2%	38.6%	Y	15'	7'/8'	20'	36.3%	39.8%
51	3,4	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
52	3,4,7	8,400	Y	15'	7'/8'	20'	41.5%	45.6%	Y	15'	7'/8'	20'	41.0%	45.1%	Y	15'	7'/8'	20'	42.4%	46.4%
53	3,4	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
54	3,4	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
55	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
56	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
57	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
58	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
59	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
60	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
61	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
62	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
63	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
64	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
65	3	8,200	Y	15'	7'/8'	20'	42.6%	46.7%	Y	15'	7'/8'	20'	42.0%	46.2%	Y	15'	7'/8'	20'	43.4%	47.5%
66	3,4	18,030	Y	15'	7'/8'	20'	19.4%	21.2%	Y	15'	7'/8'	20'	19.1%	21.0%	Y	15'	7'/8'	20'	19.7%	21.6%
67	3,4	14,855	Y	15'	7'/8'	20'	23.5%	25.8%	Y	15'	7'/8'	20'	23.2%	25.5%	Y	15'	7'/8'	20'	24.0%	26.2%
68	3,4	8,953	Y	15'	7'/8'	20'	39.0%	42.8%	Y	15'	7'/8'	20'	38.5%	42.3%	Y	15'	7'/8'	20'	39.7%	43.5%
69	3,4	9,100	Y	15'	7'/8'	20'	38.4%	42.1%	Y	15'	7'/8'	20'	37.9%	41.6%	Y	15'	7'/8'	20'	39.1%	42.8%
70	3,4	9,100	Y	15'	7'/8'	20'	38.4%	42.1%	Y	15'	7'/8'	20'	37.9%	41.6%	Y	15'	7'/8'	20'	39.1%	42.8%
71	3,4	9,100	Y	15'	7'/8'	20'	38.4%	42.1%	Y	15'	7'/8'	20'	37.9%	41.6%	Y	15'	7'/8'	20'	39.1%	42.8%
72	3,4,7	9,100	Y	15'	7'/8'	20'	38.4%	42.1%	Y	15'	7'/8'	20'	37.9%	41.6%	Y	15'	7'/8'	20'	39.1%	42.8%
73	3,4,7	8,400	Y	15'	7'/8'	20'	41.5%	45.6%	Y	15'	7'/8'	20'	41.0%	45.1%	Y	15'	7'/8'	20'	42.4%	46.4%
74	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
75	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
76	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%

Lot Fit Analysis for HAMSTRA
50's Series
Plan 50-1

Building Setbacks
Front Loaded Garage = 20'
Side Loaded Garage = 15'
Livable = 15'
Side Yard = 7' & 8'
Rear Setback = 20'

Zoning
SF-7

Special Condition Notes:
1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Incressed Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend
E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

LOT COVERAGE 45% (1-story)
40% (2-story)

Revision Date:

= Plan exceeds coverage

= Plan exceeds setback limits

= Additional 5% lot coverage allowed for open air patio / porches per LDC 2.104 F

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 50-1 - Elevation 'A'						Plan 50-1 - Elevation 'B'						Plan 50-1 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,490 S.F.	Max. Footprint Coverage % 3,828 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,447 S.F.	Max. Footprint Coverage % 3,785 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,558 S.F.	Max. Footprint Coverage % 3,896 S.F.
77	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
78	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
79	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
80	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
81	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
82	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
83	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
84	3,4,7	8,400	Y	15'	7'/8'	20'	41.5%	45.6%	Y	15'	7'/8'	20'	41.0%	45.1%	Y	15'	7'/8'	20'	42.4%	46.4%
85	3,4,7	8,400	Y	15'	7'/8'	20'	41.5%	45.6%	Y	15'	7'/8'	20'	41.0%	45.1%	Y	15'	7'/8'	20'	42.4%	46.4%
86	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
87	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
88	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
89	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
90	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
91	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
92	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
93	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
94	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
95	3	8,450	Y	15'	7'/8'	20'	41.3%	45.3%	Y	15'	7'/8'	20'	40.8%	44.8%	Y	15'	7'/8'	20'	42.1%	46.1%
96	3,4,7	8,400	Y	15'	7'/8'	20'	41.5%	45.6%	Y	15'	7'/8'	20'	41.0%	45.1%	Y	15'	7'/8'	20'	42.4%	46.4%
101	3	9,100	Y	15'	7'/8'	20'	38.4%	42.1%	Y	15'	7'/8'	20'	37.9%	41.6%	Y	15'	7'/8'	20'	39.1%	42.8%
102	3	9,100	Y	15'	7'/8'	20'	38.4%	42.1%	Y	15'	7'/8'	20'	37.9%	41.6%	Y	15'	7'/8'	20'	39.1%	42.8%
104	3	9,100	Y	15'	7'/8'	20'	38.4%	42.1%	Y	15'	7'/8'	20'	37.9%	41.6%	Y	15'	7'/8'	20'	39.1%	42.8%
105	3	9,100	Y	15'	7'/8'	20'	38.4%	42.1%	Y	15'	7'/8'	20'	37.9%	41.6%	Y	15'	7'/8'	20'	39.1%	42.8%
106	3,4,7	9,088	Y	15'	7'/8'	20'	38.4%	42.1%	Y	15'	7'/8'	20'	37.9%	41.6%	Y	15'	7'/8'	20'	39.2%	42.9%
116	3,4,7	9,100	Y	15'	7'/8'	20'	38.4%	42.1%	Y	15'	7'/8'	20'	37.9%	41.6%	Y	15'	7'/8'	20'	39.1%	42.8%

Lot Fit Analysis for HAMSTRA
50's Series
Plan 50-2

Building Setbacks
Front Loaded Garage = 20'
Side Loaded Garage = 15'
Livable = 15'
Side Yard = 7' & 8'
Rear Setback = 20'

Zoning
SF-7

NOTE: MAXIMUM SQUARE FOOTAGE REPRESENTS MAXIMUM FOOTPRINT. DUE TO SQUARE FOOTAGE OF OPTIONS NOT ALL MAXIMUM FOOTPRINT OPTIONS CAN BE SELECTED TOGETHER DUE TO EXCEEDING MAXIMUM LOT COVERAGE PER LDC 2.104F.

Special Condition Notes:
1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Incressed Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend
E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

LOT COVERAGE 45% (1-story)
40% (2-story)

Revision Date:

= Plan exceeds coverage

= Plan exceeds setback limits

= Additional 5% lot coverage allowed for open air patio / porches per LDC 2.104 F

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 50-2 - Elevation 'A'						Plan 50-2 - Elevation 'B'						Plan 50-2 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,966 S.F.	Max. Footprint Coverage % 4,239 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,945 S.F.	Max. Footprint Coverage % 4,218 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,876 S.F.	Max. Footprint Coverage % 4,149 S.F.
45	3,4,7	9,100	Y	20'	7'/8'	20'	43.6%	46.6%	Y	20'	7'/8'	20'	43.4%	46.4%	Y	20'	7'/8'	20'	42.6%	45.6%
46	3	9,100	Y	20'	7'/8'	20'	43.6%	46.6%	Y	20'	7'/8'	20'	43.4%	46.4%	Y	20'	7'/8'	20'	42.6%	45.6%
47	3	9,064	Y	20'	7'/8'	20'	43.8%	46.8%	Y	20'	7'/8'	20'	43.5%	46.5%	Y	20'	7'/8'	20'	42.8%	45.8%
48	3	12,353	Y	20'	7'/8'	20'	32.1%	34.3%	Y	20'	7'/8'	20'	31.9%	34.1%	Y	20'	7'/8'	20'	31.4%	33.6%
49	3	19,200	Y	20'	7'/8'	20'	20.7%	22.1%	Y	20'	7'/8'	20'	20.5%	22.0%	Y	20'	7'/8'	20'	20.2%	21.6%
50	3	9,801	Y	20'	7'/8'	20'	40.5%	43.3%	Y	20'	7'/8'	20'	40.3%	43.0%	Y	20'	7'/8'	20'	39.5%	42.3%
51	3,4	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
52	3,4,7	8,400	Y	20'	7'/8'	20'	47.2%	50.5%	Y	20'	7'/8'	20'	47.0%	50.2%	Y	20'	7'/8'	20'	46.1%	49.4%
53	3,4	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
54	3,4	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
55	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
56	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
57	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
58	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
59	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
60	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
61	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
62	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
63	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
64	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
65	3	8,200	Y	20'	7'/8'	20'	48.4%	51.7%	Y	20'	7'/8'	20'	48.1%	51.4%	Y	20'	7'/8'	20'	47.3%	50.6%
66	3,4	18,030	Y	20'	7'/8'	20'	22.0%	23.5%	Y	20'	7'/8'	20'	21.9%	23.4%	Y	20'	7'/8'	20'	21.5%	23.0%
67	3,4	14,855	Y	20'	7'/8'	20'	26.7%	28.5%	Y	20'	7'/8'	20'	26.6%	28.4%	Y	20'	7'/8'	20'	26.1%	27.9%
68	3,4	8,953	Y	20'	7'/8'	20'	44.3%	47.3%	Y	20'	7'/8'	20'	44.1%	47.1%	Y	20'	7'/8'	20'	43.3%	46.3%
69	3,4	9,100	Y	20'	7'/8'	20'	43.6%	46.6%	Y	20'	7'/8'	20'	43.4%	46.4%	Y	20'	7'/8'	20'	42.6%	45.6%
70	3,4	9,100	Y	20'	7'/8'	20'	43.6%	46.6%	Y	20'	7'/8'	20'	43.4%	46.4%	Y	20'	7'/8'	20'	42.6%	45.6%
71	3,4	9,100	Y	20'	7'/8'	20'	43.6%	46.6%	Y	20'	7'/8'	20'	43.4%	46.4%	Y	20'	7'/8'	20'	42.6%	45.6%
72	3,4,7	9,100	Y	20'	7'/8'	20'	43.6%	46.6%	Y	20'	7'/8'	20'	43.4%	46.4%	Y	20'	7'/8'	20'	42.6%	45.6%
73	3,4,7	8,400	Y	20'	7'/8'	20'	47.2%	50.5%	Y	20'	7'/8'	20'	47.0%	50.2%	Y	20'	7'/8'	20'	46.1%	49.4%
74	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
75	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
76	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%

Lot Fit Analysis for HAMSTRA
50's Series
Plan 50-2

Building Setbacks
Front Loaded Garage = 20'
Side Loaded Garage = 15'
Livable = 15'
Side Yard = 7' & 8'
Rear Setback = 20'

Zoning
SF-7

NOTE: MAXIMUM SQUARE FOOTAGE REPRESENTS MAXIMUM FOOTPRINT. DUE TO SQUARE FOOTAGE OF OPTIONS NOT ALL MAXIMUM FOOTPRINT OPTIONS CAN BE SELECTED TOGETHER DUE TO EXCEEDING MAXIMUM LOT COVERAGE PER LDC 2.104F.

Special Condition Notes:
1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Incressed Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend
E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

LOT COVERAGE 45% (1-story)
40% (2-story)

Revision Date:

= Plan exceeds coverage

= Plan exceeds setback limits

= Additional 5% lot coverage allowed for open air patio / porches per LDC 2.104 F

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 50-2 - Elevation 'A'						Plan 50-2 - Elevation 'B'						Plan 50-2 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,966 S.F.	Max. Footprint Coverage % 4,239 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,945 S.F.	Max. Footprint Coverage % 4,218 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,876 S.F.	Max. Footprint Coverage % 4,149 S.F.
77	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
78	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
79	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
80	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
81	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
82	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
83	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
84	3,4,7	8,400	Y	20'	7'/8'	20'	47.2%	50.5%	Y	20'	7'/8'	20'	47.0%	50.2%	Y	20'	7'/8'	20'	46.1%	49.4%
85	3,4,7	8,400	Y	20'	7'/8'	20'	47.2%	50.5%	Y	20'	7'/8'	20'	47.0%	50.2%	Y	20'	7'/8'	20'	46.1%	49.4%
86	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
87	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
88	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
89	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
90	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
91	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
92	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
93	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
94	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
95	3	8,450	Y	20'	7'/8'	20'	46.9%	50.2%	Y	20'	7'/8'	20'	46.7%	49.9%	Y	20'	7'/8'	20'	45.9%	49.1%
96	3,4,7	8,400	Y	20'	7'/8'	20'	47.2%	50.5%	Y	20'	7'/8'	20'	47.0%	50.2%	Y	20'	7'/8'	20'	46.1%	49.4%
101	3	9,100	Y	20'	7'/8'	20'	43.6%	46.6%	Y	20'	7'/8'	20'	43.4%	46.4%	Y	20'	7'/8'	20'	42.6%	45.6%
102	3	9,100	Y	20'	7'/8'	20'	43.6%	46.6%	Y	20'	7'/8'	20'	43.4%	46.4%	Y	20'	7'/8'	20'	42.6%	45.6%
104	3	9,100	Y	20'	7'/8'	20'	43.6%	46.6%	Y	20'	7'/8'	20'	43.4%	46.4%	Y	20'	7'/8'	20'	42.6%	45.6%
105	3	9,100	Y	20'	7'/8'	20'	43.6%	46.6%	Y	20'	7'/8'	20'	43.4%	46.4%	Y	20'	7'/8'	20'	42.6%	45.6%
106	3,4,7	9,088	Y	20'	7'/8'	20'	43.6%	46.6%	Y	20'	7'/8'	20'	43.4%	46.4%	Y	20'	7'/8'	20'	42.6%	45.7%
116	3,4,7	9,100	Y	20'	7'/8'	20'	43.6%	46.6%	Y	20'	7'/8'	20'	43.4%	46.4%	Y	20'	7'/8'	20'	42.6%	45.6%

Lot Fit Analysis for HAMSTRA
50's Series
Plan 50-3

Building Setbacks
Front Loaded Garage = 20'
Side Loaded Garage = 15'
Livable = 15'
Side Yard = 7' & 8'
Rear Setback = 20'

Zoning
SF-7

Special Condition Notes:
1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Incressed Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend
E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

LOT COVERAGE 45% (1-story)
40% (2-story)

Revision Date:

= Plan exceeds coverage

= Plan exceeds setback limits

= Additional 5% lot coverage allowed for open air patio / porches per LDC 2.104 F

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 50-3 - Elevation 'A'						Plan 50-3 - Elevation 'B'						Plan 50-3 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,964 S.F.	Max. Footprint Coverage % 3,321 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,964 S.F.	Max. Footprint Coverage % 3,321 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,964 S.F.	Max. Footprint Coverage % 3,321 S.F.
45	3,4,7	9,100	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%
46	3	9,100	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%
47	3	9,064	Y	15'	7'/8'	20'	32.7%	36.6%	Y	15'	7'/8'	20'	32.7%	36.6%	Y	15'	7'/8'	20'	32.7%	36.6%
48	3	12,353	Y	15'	7'/8'	20'	24.0%	26.9%	Y	15'	7'/8'	20'	24.0%	26.9%	Y	15'	7'/8'	20'	24.0%	26.9%
49	3	19,200	Y	15'	7'/8'	20'	15.4%	17.3%	Y	15'	7'/8'	20'	15.4%	17.3%	Y	15'	7'/8'	20'	15.4%	17.3%
50	3	9,801	Y	15'	7'/8'	20'	30.2%	33.9%	Y	15'	7'/8'	20'	30.2%	33.9%	Y	15'	7'/8'	20'	30.2%	33.9%
51	3,4	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
52	3,4,7	8,400	Y	15'	7'/8'	20'	35.3%	39.5%	Y	15'	7'/8'	20'	35.3%	39.5%	Y	15'	7'/8'	20'	35.3%	39.5%
53	3,4	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
54	3,4	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
55	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
56	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
57	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
58	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
59	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
60	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
61	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
62	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
63	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
64	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
65	3	8,200	Y	15'	7'/8'	20'	36.1%	40.5%	Y	15'	7'/8'	20'	36.1%	40.5%	Y	15'	7'/8'	20'	36.1%	40.5%
66	3,4	18,030	Y	15'	7'/8'	20'	16.4%	18.4%	Y	15'	7'/8'	20'	16.4%	18.4%	Y	15'	7'/8'	20'	16.4%	18.4%
67	3,4	14,855	Y	15'	7'/8'	20'	20.0%	22.4%	Y	15'	7'/8'	20'	20.0%	22.4%	Y	15'	7'/8'	20'	20.0%	22.4%
68	3,4	8,953	Y	15'	7'/8'	20'	33.1%	37.1%	Y	15'	7'/8'	20'	33.1%	37.1%	Y	15'	7'/8'	20'	33.1%	37.1%
69	3,4	9,100	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%
70	3,4	9,100	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%
71	3,4	9,100	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%
72	3,4,7	9,100	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%
73	3,4,7	8,400	Y	15'	7'/8'	20'	35.3%	39.5%	Y	15'	7'/8'	20'	35.3%	39.5%	Y	15'	7'/8'	20'	35.3%	39.5%
74	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
75	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
76	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%

Lot Fit Analysis for HAMSTRA
50's Series
Plan 50-3

Building Setbacks
Front Loaded Garage = 20'
Side Loaded Garage = 15'
Livable = 15'
Side Yard = 7' & 8'
Rear Setback = 20'

Zoning
SF-7

Special Condition Notes:
1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Incressed Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend
E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

LOT COVERAGE 45% (1-story)
40% (2-story)

Revision Date:

= Plan exceeds coverage

= Plan exceeds setback limits

= Additional 5% lot coverage allowed for open air patio / porches per LDC 2.104 F

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 50-3 - Elevation 'A'						Plan 50-3 - Elevation 'B'						Plan 50-3 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,964 S.F.	Max. Footprint Coverage % 3,321 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,964 S.F.	Max. Footprint Coverage % 3,321 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,964 S.F.	Max. Footprint Coverage % 3,321 S.F.
77	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
78	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
79	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
80	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
81	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
82	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
83	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
84	3,4,7	8,400	Y	15'	7'/8'	20'	35.3%	39.5%	Y	15'	7'/8'	20'	35.3%	39.5%	Y	15'	7'/8'	20'	35.3%	39.5%
85	3,4,7	8,400	Y	15'	7'/8'	20'	35.3%	39.5%	Y	15'	7'/8'	20'	35.3%	39.5%	Y	15'	7'/8'	20'	35.3%	39.5%
86	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
87	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
88	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
89	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
90	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
91	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
92	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
93	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
94	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
95	3	8,450	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%	Y	15'	7'/8'	20'	35.1%	39.3%
96	3,4,7	8,400	Y	15'	7'/8'	20'	35.3%	39.5%	Y	15'	7'/8'	20'	35.3%	39.5%	Y	15'	7'/8'	20'	35.3%	39.5%
101	3	9,100	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%
102	3	9,100	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%
104	3	9,100	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%
105	3	9,100	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%
106	3,4,7	9,088	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%
116	3,4,7	9,100	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%	Y	15'	7'/8'	20'	32.6%	36.5%

Lot Fit Analysis for HAMSTRA
50's Series
Plan 50-4

Building Setbacks
Front Loaded Garage = 20'
Side Loaded Garage = 15'
Livable = 15'
Side Yard = 7' & 8'
Rear Setback = 20'

Zoning
SF-7

NOTE: MAXIMUM SQUARE FOOTAGE REPRESENTS MAXIMUM FOOTPRINT. DUE TO SQUARE FOOTAGE OF OPTIONS NOT ALL MAXIMUM FOOTPRINT OPTIONS CAN BE SELECTED TOGETHER DUE TO EXCEEDING MAXIMUM LOT COVERAGE PER LDC 2.104F.

Special Condition Notes:
1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Incressed Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend
E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

LOT COVERAGE 45% (1-story)
40% (2-story)

Revision Date:

= Plan exceeds coverage

= Plan exceeds setback limits

= Additional 5% lot coverage allowed for open air patio / porches per LDC 2.104 F

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 50-4 - Elevation 'A'						Plan 50-4 - Elevation 'B'						Plan 50-4 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,501 S.F.	Max. Footprint Coverage % 3,994 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,537 S.F.	Max. Footprint Coverage % 4,030 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,540 S.F.	Max. Footprint Coverage % 4,033 S.F.
45	3,4,7	9,100	Y	20'	7'/8'	20'	38.5%	43.9%	Y	20'	7'/8'	20'	38.9%	44.3%	Y	20'	7'/8'	20'	38.9%	44.3%
46	3	9,100	Y	20'	7'/8'	20'	38.5%	43.9%	Y	20'	7'/8'	20'	38.9%	44.3%	Y	20'	7'/8'	20'	38.9%	44.3%
47	3	9,064	Y	20'	7'/8'	20'	38.6%	44.1%	Y	20'	7'/8'	20'	39.0%	44.5%	Y	20'	7'/8'	20'	39.1%	44.5%
48	3	12,353	Y	20'	7'/8'	20'	28.3%	32.3%	Y	20'	7'/8'	20'	28.6%	32.6%	Y	20'	7'/8'	20'	28.7%	32.6%
49	3	19,200	Y	20'	7'/8'	20'	18.2%	20.8%	Y	20'	7'/8'	20'	18.4%	21.0%	Y	20'	7'/8'	20'	18.4%	21.0%
50	3	9,801	Y	20'	7'/8'	20'	35.7%	40.8%	Y	20'	7'/8'	20'	36.1%	41.1%	Y	20'	7'/8'	20'	36.1%	41.1%
51	3,4	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
52	3,4,7	8,400	Y	20'	7'/8'	20'	41.7%	47.5%	Y	20'	7'/8'	20'	42.1%	48.0%	Y	20'	7'/8'	20'	42.1%	48.0%
53	3,4	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
54	3,4	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
55	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
56	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
57	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
58	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
59	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
60	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
61	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
62	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
63	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
64	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
65	3	8,200	Y	20'	7'/8'	20'	42.7%	48.7%	Y	20'	7'/8'	20'	43.1%	49.1%	Y	20'	7'/8'	20'	43.2%	49.2%
66	3,4	18,030	Y	20'	7'/8'	20'	19.4%	22.2%	Y	20'	7'/8'	20'	19.6%	22.4%	Y	20'	7'/8'	20'	19.6%	22.4%
67	3,4	14,855	Y	20'	7'/8'	20'	23.6%	26.9%	Y	20'	7'/8'	20'	23.8%	27.1%	Y	20'	7'/8'	20'	23.8%	27.1%
68	3,4	8,953	Y	20'	7'/8'	20'	39.1%	44.6%	Y	20'	7'/8'	20'	39.5%	45.0%	Y	20'	7'/8'	20'	39.5%	45.0%
69	3,4	9,100	Y	20'	7'/8'	20'	38.5%	43.9%	Y	20'	7'/8'	20'	38.9%	44.3%	Y	20'	7'/8'	20'	38.9%	44.3%
70	3,4	9,100	Y	20'	7'/8'	20'	38.5%	43.9%	Y	20'	7'/8'	20'	38.9%	44.3%	Y	20'	7'/8'	20'	38.9%	44.3%
71	3,4	9,100	Y	20'	7'/8'	20'	38.5%	43.9%	Y	20'	7'/8'	20'	38.9%	44.3%	Y	20'	7'/8'	20'	38.9%	44.3%
72	3,4,7	9,100	Y	20'	7'/8'	20'	38.5%	43.9%	Y	20'	7'/8'	20'	38.9%	44.3%	Y	20'	7'/8'	20'	38.9%	44.3%
73	3,4,7	8,400	Y	20'	7'/8'	20'	41.7%	47.5%	Y	20'	7'/8'	20'	42.1%	48.0%	Y	20'	7'/8'	20'	42.1%	48.0%
74	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
75	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
76	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%

Lot Fit Analysis for HAMSTRA
50's Series
Plan 50-4

Building Setbacks
Front Loaded Garage = 20'
Side Loaded Garage = 15'
Livable = 15'
Side Yard = 7' & 8'
Rear Setback = 20'

Zoning
SF-7

NOTE: MAXIMUM SQUARE FOOTAGE REPRESENTS MAXIMUM FOOTPRINT. DUE TO SQUARE FOOTAGE OF OPTIONS NOT ALL MAXIMUM FOOTPRINT OPTIONS CAN BE SELECTED TOGETHER DUE TO EXCEEDING MAXIMUM LOT COVERAGE PER LDC 2.104F.

Special Condition Notes:
1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Incressed Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend
E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

LOT COVERAGE 45% (1-story)
40% (2-story)

Revision Date:

= Plan exceeds coverage

= Plan exceeds setback limits

= Additional 5% lot coverage allowed for open air patio / porches per LDC 2.104 F

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 50-4 - Elevation 'A'						Plan 50-4 - Elevation 'B'						Plan 50-4 - Elevation 'C'					
			Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,501 S.F.	Max. Footprint Coverage % 3,994 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,537 S.F.	Max. Footprint Coverage % 4,030 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,540 S.F.	Max. Footprint Coverage % 4,033 S.F.
77	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
78	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
79	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
80	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
81	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
82	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
83	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
84	3,4,7	8,400	Y	20'	7'/8'	20'	41.7%	47.5%	Y	20'	7'/8'	20'	42.1%	48.0%	Y	20'	7'/8'	20'	42.1%	48.0%
85	3,4,7	8,400	Y	20'	7'/8'	20'	41.7%	47.5%	Y	20'	7'/8'	20'	42.1%	48.0%	Y	20'	7'/8'	20'	42.1%	48.0%
86	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
87	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
88	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
89	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
90	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
91	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
92	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
93	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
94	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
95	3	8,450	Y	20'	7'/8'	20'	41.4%	47.3%	Y	20'	7'/8'	20'	41.9%	47.7%	Y	20'	7'/8'	20'	41.9%	47.7%
96	3,4,7	8,400	Y	20'	7'/8'	20'	41.7%	47.5%	Y	20'	7'/8'	20'	42.1%	48.0%	Y	20'	7'/8'	20'	42.1%	48.0%
101	3	9,100	Y	20'	7'/8'	20'	38.5%	43.9%	Y	20'	7'/8'	20'	38.9%	44.3%	Y	20'	7'/8'	20'	38.9%	44.3%
102	3	9,100	Y	20'	7'/8'	20'	38.5%	43.9%	Y	20'	7'/8'	20'	38.9%	44.3%	Y	20'	7'/8'	20'	38.9%	44.3%
104	3	9,100	Y	20'	7'/8'	20'	38.5%	43.9%	Y	20'	7'/8'	20'	38.9%	44.3%	Y	20'	7'/8'	20'	38.9%	44.3%
105	3	9,100	Y	20'	7'/8'	20'	38.5%	43.9%	Y	20'	7'/8'	20'	38.9%	44.3%	Y	20'	7'/8'	20'	38.9%	44.3%
106	3,4,7	9,088	Y	20'	7'/8'	20'	38.5%	43.9%	Y	20'	7'/8'	20'	38.9%	44.3%	Y	20'	7'/8'	20'	39.0%	44.4%
116	3,4,7	9,100	Y	20'	7'/8'	20'	38.5%	43.9%	Y	20'	7'/8'	20'	38.9%	44.3%	Y	20'	7'/8'	20'	38.9%	44.3%

HAMSTRA
GILBERT, AZ

TYPICAL LOT

Model 50-1

Elevation C

OPTIONS AVAILABLE TO BE BUILT WITH STANDARD HOME:

* OPT. BOX BAY @ MASTER
OPT. EXTENDED MASTER
* OPT. EXTENDED NOOK
* OPT. EXTENDED PATIO
OPT. EXTENDED PANTRY
* OPT. GARAGE EXTENSION

ELEVATION 'C' SHOWN TO REFLECT LARGEST FOOTPRINT.

NOTE:
FENCE LINES AND RETAINING WALLS MAY VARY BASED ON EXISTING FIELD CONDITIONS. ALL MEASUREMENTS, ORIENTATION, AND UTILITY LOCATIONS ARE APPROXIMATE.

SETBACK INFORMATION:

FRONT = 15' TO SIDE ENTRY GARAGE / LIVABLE
= 20' TO FRONT FACING GARAGE
SIDE = 7' & 8'
REAR = 20' REAR
(FRONT YARD SETBACK SHALL BE STAGGERED A MINIMUM OF 3' SUCH THAT NO MORE THAN 2 ADJACENT HOMES HAVE THE SAME SETBACK)

45% MAX. LOT COV.
(ADDITIONAL 5% LOT COVERAGE ALLOWED FOR OPEN AIR PATIO / PORCHES PER LDC 2.104 F)

MIN. SQ. FT.	
First Flr. Liv.	= 2,644
Garage(s)	= 618
Porch	= 121
Patio	= 175
First Flr. Total	= 3,558
Lot Sq. Ft.	= 8,450
Lot Cov. %	= 42.1%

* MAX. SQ. FT.	
First Flr. Liv.	= 2,729
Garage(s)	= 659
Porch	= 121
Patio	= 387
First Flr. Total	= 3,896
Lot Sq. Ft.	= 8,450
Lot Cov. %	= 46.1%

ADDITIONAL 5% LOT COVERAGE PER LDC 2.104 F

With Opt. Patio Ext.	
Patio	= 387
Open Air Total (LESS REQ. 80 S.F.)	= 307
Lot Sq. Ft.	= 8,450
Lot Cov. Open Air	= 3.6%
Allowable Lot Cov.	= 50%

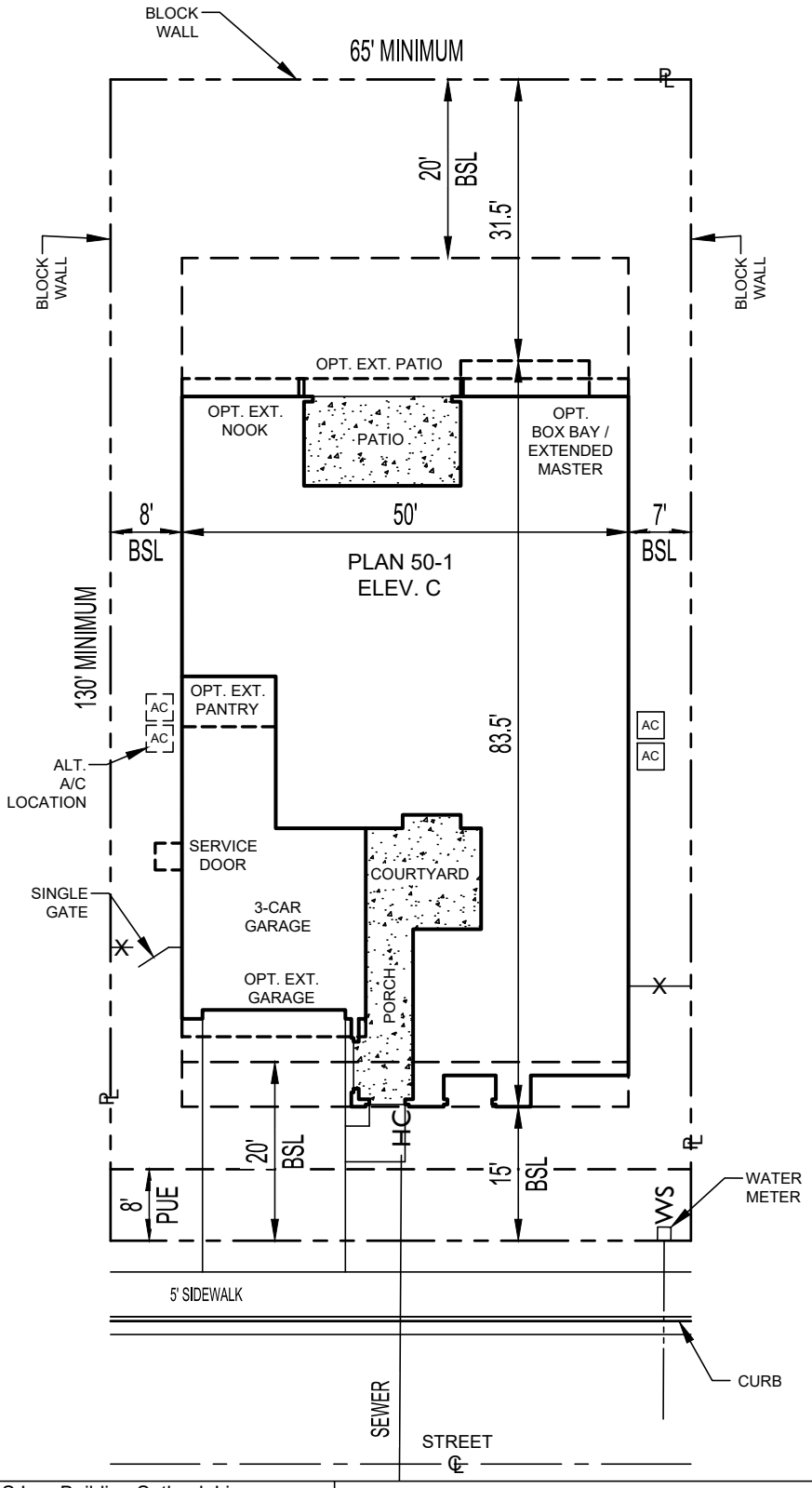
0 20 40

SCALE: 1"=20'-0"

DATE DRAWN: 8/31/18

ST18-11 Hamstra Dairy
Attachment 11: Typical Plot Plans (4 pages)
December 5, 2018

MARACAY
15279 N. Scottsdale Road, Suite 300
Scottsdale, AZ 85254, 480-970-6000



LEGEND:
B.S.L. = Building Setback Line
C/L = Center Line
P/L = Property Line
P.R.E. = Private Roadway Easement
P.U.E. = Public Utility Easement
R.O.W. = Right of Way
S.V.T. = Sight Visibility Triangle
V.N.A.E.=Vehicular Non-Access Esmt.

TMD Design Services
6635 W. Happy Valley Rd.
Suite A-104-438
Glendale, AZ 85310
(602) 882-5419

HAMSTRA
GILBERT, AZ

TYPICAL LOT

Model 50–2

Elevation A

OPTIONS AVAILABLE TO BE BUILT WITH STANDARD HOME:

* OPT. EXTENDED MASTER
OPT. EXTENDED DINING
* OPT. EXTENDED PATIO
OPT. EXTENDED LAUNDRY
* OPT. EXTENDED GARAGE

ELEVATION 'A' SHOWN TO REFLECT LARGEST FOOTPRINT.

0 20 40

SCALE: 1"=20'–0"

DATE DRAWN: 8/31/18

NOTE:
MAXIMUM SQUARE FOOTAGE REPRESENTS MAXIMUM FOOTPRINT. DUE TO SQUARE FOOTAGE OF OPTIONS NOT ALL MAXIMUM FOOTPRINT OPTIONS CAN BE SELECTED TOGETHER DUE TO EXCEEDING MAXIMUM LOT COVERAGE PER LDC 2.104F.

MARACAY

15279 N. Scottsdale Road, Suite 300
Scottsdale, AZ 85254, 480-970-6000

SETBACK INFORMATION:

FRONT = 15' TO SIDE ENTRY GARAGE / LIVABLE
= 20' TO FRONT FACING GARAGE
SIDE = 7' & 8'
REAR = 20' REAR
(FRONT YARD SETBACK SHALL BE STAGGERED A MINIMUM OF 3' SUCH THAT NO MORE THAN 2 ADJACENT HOMES HAVE THE SAME SETBACK)

45% MAX. LOT COV.
(ADDITIONAL 5% LOT COVERAGE ALLOWED FOR OPEN AIR PATIO / PORCHES PER LDC 2.104 F)

MIN. SQ. FT.	
First Flr. Liv.	= 3,073
Garage(s)	= 632
Porch	= 103
Patio	= 158
First Flr. Total	= 3,966
Lot Sq. Ft.	= 8,450
Lot Cov. %	= 46.9

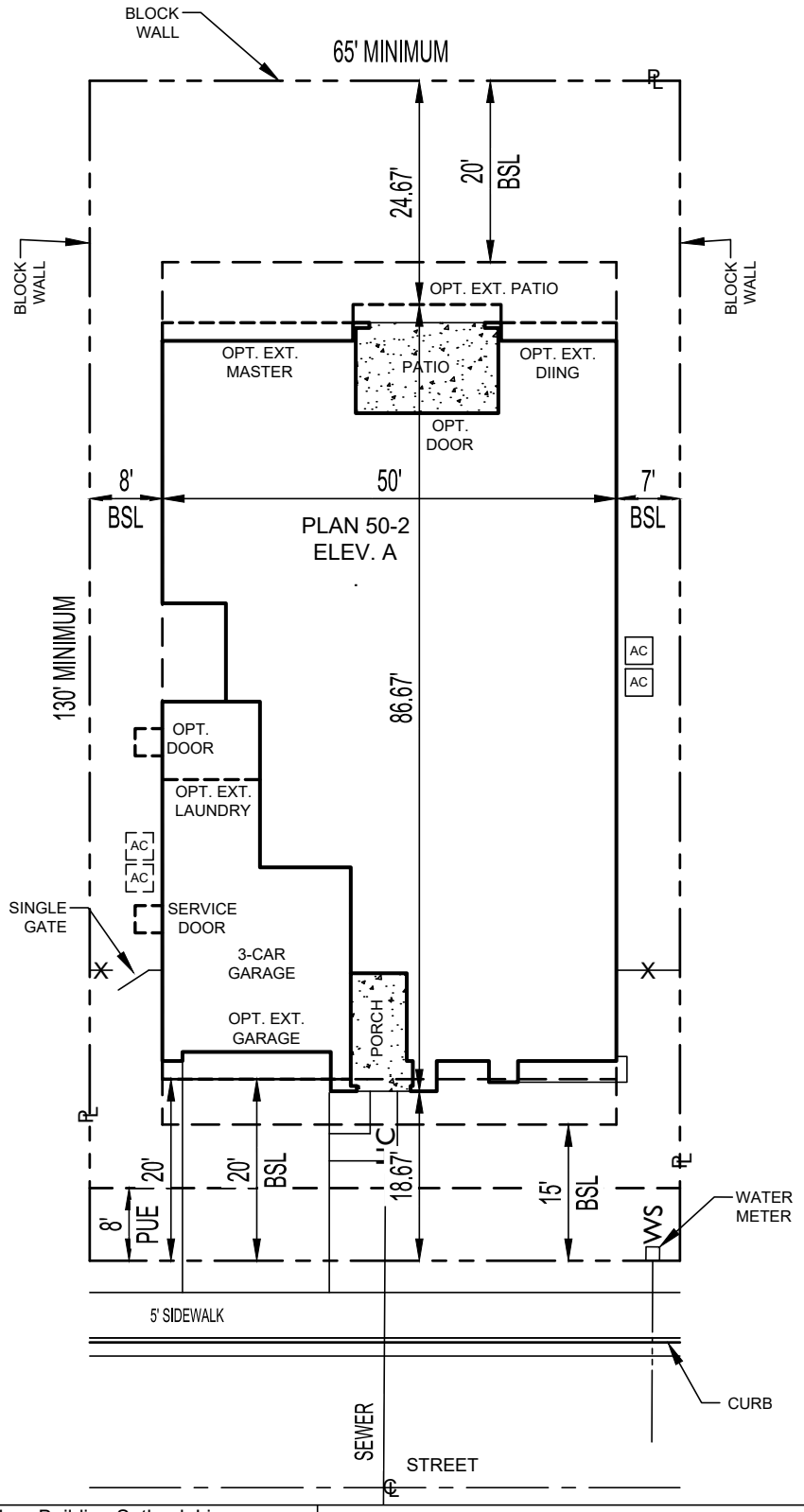
ADDITIONAL 5% LOT COVERAGE PER LDC 2.104 F

Standard Plan	
Porch / Patio	= 261
Open Air Total (LESS REQ. 80 S.F.)	= 181
Lot Sq. Ft.	= 8,450
Lot Cov. Open Air	= 2.1%
Allowable Lot Cov.	= 50%

* MAX. SQ. FT.	
First Flr. Liv.	= 3,116
Garage(s)	= 672
Porch	= 103
Patio	= 348
First Flr. Total	= 4,239
Lot Sq. Ft.	= 8,450
Lot Cov. %	= 50%

ADDITIONAL 5% LOT COVERAGE PER LDC 2.104 F

With Opt. Patio Ext.	
Porch / Patio	= 451
Open Air Total (LESS REQ. 80 S.F.)	= 371
Lot Sq. Ft.	= 8,450
Lot Cov. Open Air	= 4.3%
Allowable Lot Cov.	= 50%



NOTE:
FENCE LINES AND RETAINING WALLS MAY VARY BASED ON EXISTING FIELD CONDITIONS. ALL MEASUREMENTS, ORIENTATION, AND UTILITY LOCATIONS ARE APPROXIMATE.

LEGEND:

B.S.L. = Building Setback Line
C/L = Center Line
P/L = Property Line
P.R.E. = Private Roadway Easement
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V.N.A.E.=Vehicular Non-Access Esmt.

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HAMSTRA
GILBERT, AZ

TYPICAL LOT

Model 50-3

Elevation A

0 20 40

SCALE: 1"=20'-0"

DATE DRAWN: 8/31/18

MARACAY

15279 N. Scottsdale Road, Suite 300
Scottsdale, AZ 85254, 480-970-6000

OPTIONS AVAILABLE TO BE BUILT WITH STANDARD HOME:

* OPT. EXTENDED PATIO
* OPT. WINE
* OPT. 2-CAR GARAGE

ELEVATION 'A' SHOWN TO REFLECT LARGEST FOOTPRINT.

NOTE:
FENCE LINES AND RETAINING WALLS MAY VARY BASED ON EXISTING FIELD CONDITIONS. ALL MEASUREMENTS, ORIENTATION, AND UTILITY LOCATIONS ARE APPROXIMATE.

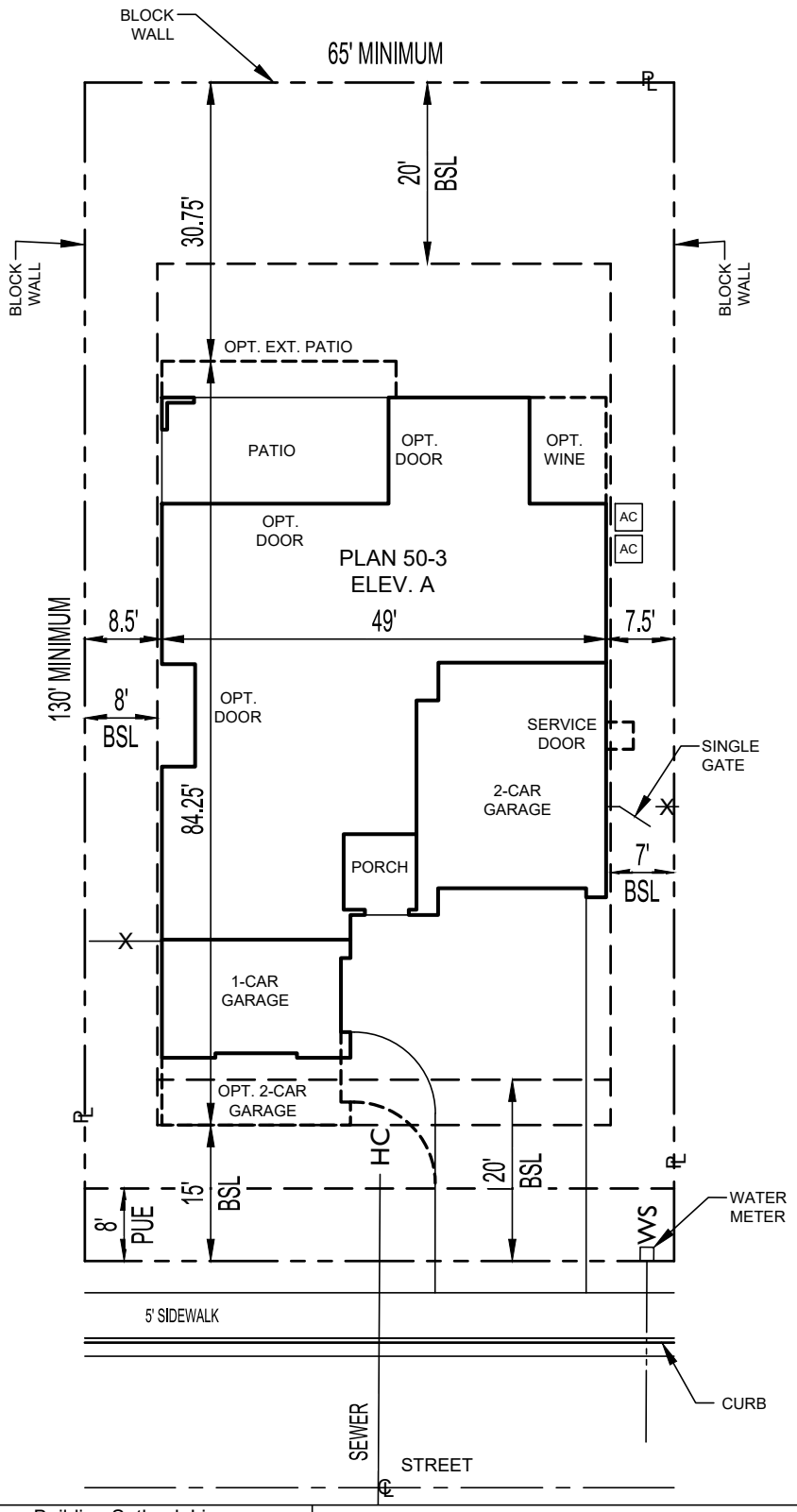
SETBACK INFORMATION:

FRONT = 15' TO SIDE ENTRY GARAGE / LIVABLE
= 20' TO FRONT FACING GARAGE
SIDE = 7' & 8'
REAR = 20' REAR
(FRONT YARD SETBACK SHALL BE STAGGERED A MINIMUM OF 3' SUCH THAT NO MORE THAN 2 ADJACENT HOMES HAVE THE SAME SETBACK)

40% MAX. LOT COV.
(ADDITIONAL 5% LOT COVERAGE ALLOWED FOR OPEN AIR PATIO / PORCHES PER LDC 2.104 F)

MIN. SQ. FT.	
First Flr. Liv.	= 1,830
Second Flr. Liv.	= 2,117
Garage(s)	= 767
Porch	= 74
Portico	= 0
Patio	= 293
First Flr. Total	= 2,964
Lot Sq. Ft.	= 8,450
Lot Cov. %	= 35.0%

* MAX. SQ. FT.	
First Flr. Liv.	= 1,929
Second Flr. Liv.	= 2,117
Garage(s)	= 923
Porch	= 74
Portico	= 0
Patio	= 395
First Flr. Total	= 3,321
Lot Sq. Ft.	= 8,450
Lot Cov. %	= 39.3%



LEGEND:

B.S.L. = Building Setback Line
C/L = Center Line
P/L = Property Line
P.R.E. = Private Roadway Easement
P.U.E. = Public Utility Easement
R.O.W. = Right of Way
S.V.T. = Sight Visibility Triangle
V.N.A.E.=Vehicular Non-Access Esmt.

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Glendale, AZ 85310
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HAMSTRA
GILBERT, AZ

TYPICAL LOT

Model 50–4

Elevation C

OPTIONS AVAILABLE TO BE BUILT WITH STANDARD HOME:

* OPT. EXTENDED PATIO B
* OPT. EXTENDED PATIO C

OPT. BEDROOM 6

* OPT. EXTENDED GARAGE

0 20 40

SCALE: 1"=20'–0"

DATE DRAWN: 8/31/18

MARACAY

15279 N. Scottsdale Road, Suite 300
Scottsdale, AZ 85254, 480-970-6000

NOTE:
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SETBACK INFORMATION:

FRONT = 15' TO SIDE ENTRY GARAGE / LIVABLE
= 20' TO FRONT FACING GARAGE

SIDE = 7' & 8'

REAR = 20' REAR

(FRONT YARD SETBACK SHALL BE STAGGERED A MINIMUM OF 3' SUCH THAT NO MORE THAN 2 ADJACENT HOMES HAVE THE SAME SETBACK)

40% MAX. LOT COV.
(ADDITIONAL 5% LOT COVERAGE ALLOWED FOR OPEN AIR PATIO / PORCHES PER LDC 2.104 F)

MIN. SQ. FT.

First Flr. Liv.	= 2,159
Second Flr. Liv.	= 2,475
Garage(s)	= 894
Porch	= 238
Patio	= 249
First Flr. Total	= 3,540
Lot Sq. Ft.	= 8,450
Lot Cov. %	= 41.8

ADDITIONAL 5% LOT COVERAGE PER LDC 2.104 F

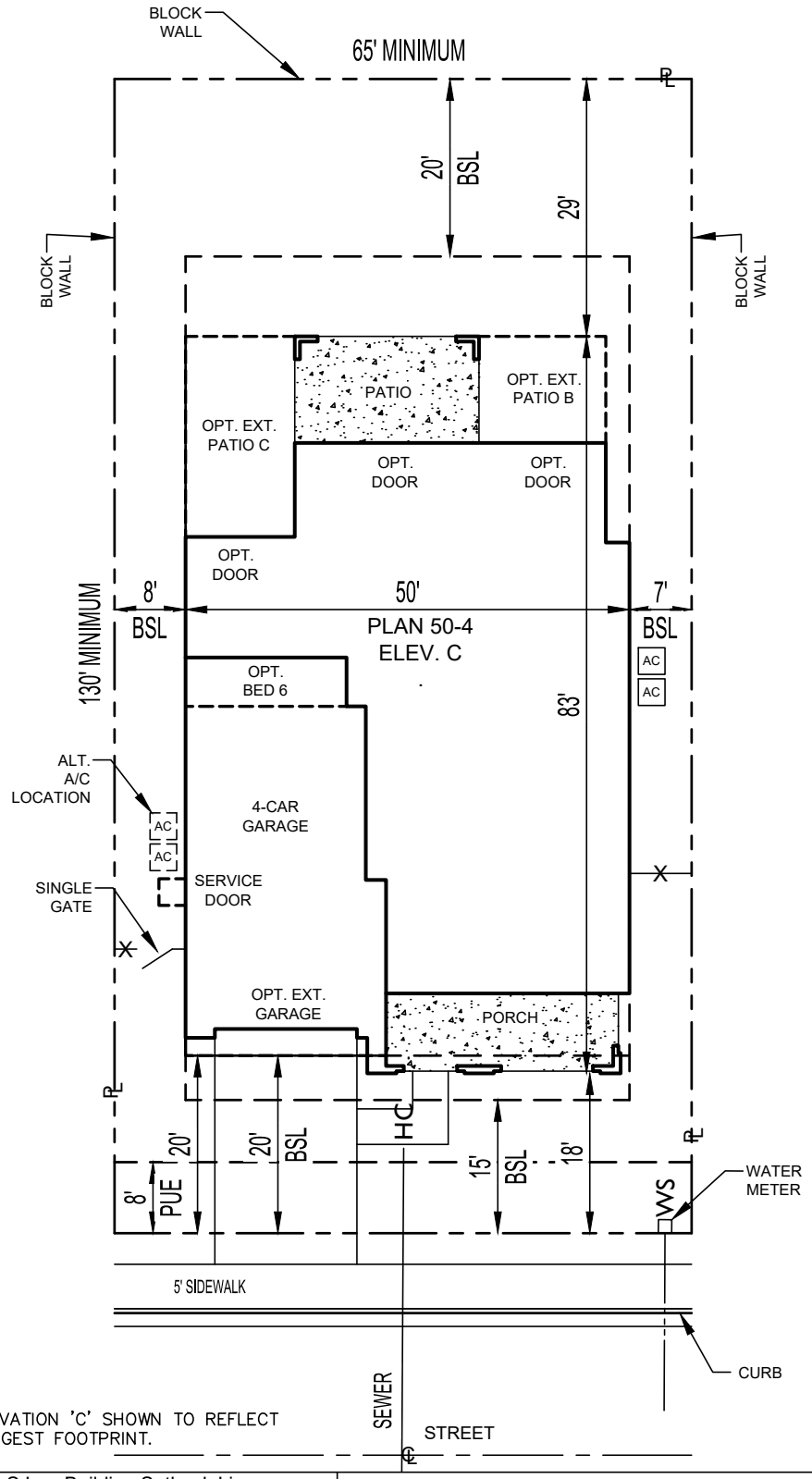
Standard Plan	
Patio	= 249
Open Air Total (LESS REQ. 80 S.F.)	= 169
Lot Sq. Ft.	= 8,450
Lot Cov. Open Air	= 2.0%
Allowable Lot Cov.	= 45%

* MAX. SQ. FT.

First Flr. Liv.	= 2,159
Second Flr. Liv.	= 2,509
Garage(s)	= 939
Porch	= 238
Patio	= 697
First Flr. Total	= 4,033
Lot Sq. Ft.	= 8,450
Lot Cov. %	= 47.7%

ADDITIONAL 5% LOT COVERAGE PER LDC 2.104 F

Standard Plan	
Patio	= 697
Open Air Total (LESS REQ. 80 S.F.)	= 617
Lot Sq. Ft.	= 8,450
Lot Cov. Open Air	= 7.3%
Allowable Lot Cov.	= 45%



ELEVATION 'C' SHOWN TO REFLECT LARGEST FOOTPRINT.

NOTE:
FENCE LINES AND RETAINING WALLS MAY VARY BASED ON EXISTING FIELD CONDITIONS. ALL MEASUREMENTS, ORIENTATION, AND UTILITY LOCATIONS ARE APPROXIMATE.

LEGEND:

B.S.L. = Building Setback Line
C/L = Center Line
P/L = Property Line
P.R.E. = Private Roadway Easement
P.U.E. = Public Utility Easement
R.O.W. = Right of Way
S.V.T. = Sight Visibility Triangle
V.N.A.E.=Vehicular Non-Access Esmt.

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