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Planning Commission Study Session

TO: PLANNING COMMISSION

FROM: SYDNEY BETHEL, PLANNER II *SB*
(480) 503-6721, SYDNEY.BETHEL@GILBERTAZ.GOV

THROUGH: AMY TEMES, INTERIM PRINCIPAL PLANNER *AT*
(480) 503-6729, AMY.TEMES@GILBERTAZ.GOV

MEETING DATE: JANURARY 9, 2018

SUBJECT: DR18-193, SUPERSTAR CAR WASH

STRATEGIC INITIATIVE: Economic Development

Attract and retain businesses that serve the local community.

REQUEST

DR18-193, Superstar Car Wash: Site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials, for approximately 1.75 acres, generally located the southeast corner of Val Vista Drive and Queen Creek Road, and zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay.

RECOMMENDED MOTION

Request for input only. No motion required.

APPLICANT/OWNER

Company: Cawley Architects, Inc.
 Name: Brian K. Tirko
 Address: 730 N. 52nd St. Suite 203
 Phoenix, AZ 85008
 Phone: 602-393-5060
 Email: briant@cawleyarchitects.com

Company: WNDG, LLC
 Address: 7500 E. McDonald Dr. #100A
 Scottsdale, AZ 85250

BACKGROUND/DISCUSSION

History

Date	Description
<i>June 24, 2002</i>	Town Council approved Z00-28, San Tan Estates PAD, Ordinance No.1403.
<i>February 15, 2005</i>	Town Council approved Z04-19, a modification to San Tan Estates PAD, Ordinance No. 1629.
<i>March 24, 2011</i>	Town Council approved Z11-01, a modification to San Tan Estates in Ordinance No. 2321.
<i>June 3, 2015</i>	Planning Commission recommended approval of Z15-08 and approved UP15-07 subject to conditions and the approval of Z15-08.
<i>June 25, 2015</i>	Town Council approved Z15-08 DeRito Spectrum Planned Area Development Ordinance No. 2542.
<i>March 24, 2016</i>	Town Council approved rezoning for Z15-24 Spectrum Care Ordinance No. 2575.
<i>May 12, 2016</i>	Design Review Board approved the Design Review for DR16-03 Spectrum Care (The Enclave at Gilbert Senior Living).
<i>September 22, 2016</i>	Staff administratively approved the Design Review for DR16-21 CST Store/Valero.
<i>December 5, 2018</i>	The Planning Commission reviewed DR18-186 Val Vista & Queen Creek Retail and DR18-182 Val Vista & Queen Creek, Lot 3 as Study Session items.

Overview

There are two (2) proposed developments on the subject site, the first of which being a 4,361 sq. ft. carwash and the other being a 3,480 sq. ft. retail pad. The subject site is approximately 1.75 acres, generally located south of the southeast corner of Val Vista Drive and Queen Creek Drive and is zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay.

The subject site is part of an existing master site plan, which currently has two (2) developments approved within the mixed use commercial center. The Enclave at Gilbert Senior Living, which was approved under UP15-07/DR16-03 and constructed in 2018, is the anchor of the site and is located just east of the subject site. The CST Store/Valero, which was approved under DR16-21, is located just north of the site and has yet to be constructed. Two (2) additional projects have recently been submitted in the same vicinity, Val Vista and Queen Creek Retail (DR18-186) and Val Vista and Queen Creek, Lot 3 (DR18-192) which were both reviewed on December 5th by the Planning Commission as Study Session items.

Surrounding Land Use & Zoning Designations (Lot 4):

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Shopping Center (SC)	Shopping Center (SC) PAD	Vacant (approved CST /Valero)
South	Shopping Center (SC)	Shopping Center (SC) PAD	Vacant
East	Shopping Center (SC)	Shopping Center (SC) PAD	The Enclave at Gilbert Senior Living
West	Shopping Center (SC)	Shopping Center (SC) PAD	Val Vista Drive then Vista del Oro Centre (Commercial Center)
Site	Shopping Center (SC)	Shopping Center (SC) PAD	Vacant

Project Data Table

Site Development Regulations	Required per LDC and Ordinance No. 2575	Proposed (Lot 4)
Lot Area	N/A	1.75 Acres
Maximum Size of Use or User	210,000 sq. ft.	4,361 sq. ft. Lot A (Carwash) 3,480 sq. ft. Lot B (Retail Pad)
Maximum Height (ft.)/Stories	35’/3 Stories	Lot A (Carwash) 22’-8” Lot B (Retail Pad) 25’-4”
Minimum Building Setbacks (ft.)		
Front	to Queen Creek – 25’	25’ Applicable to Lots 5 & 6 (0’ internal setback, Lot 4)
Side (Street)	to Key Biscayne and Val Vista – 20’	20’ Applicable to all Lots
Rear (Residential)	75’ to Chestnut (Val Vista to Vintage at Legend Ridge entrance)	75’ Applicable to Lots 1 & 2 (0’ internal setback Lot 4)
Separation Between Buildings (ft.)	1-story 15’ 15’ 2-story 20’ 20’ 3 -story 20’ 20’	1-story 15’ 15’ 2-story 20’ 20’ 3 -story 20’ 20’
Minimum Required Perimeter Landscape Area (ft.)		
Front	25’	25’ Applicable to Lots 5 & 6 (0’ internal setback, Lot 4)
Side (Street)	20’	20’ Applicable to all Lots
Rear (Residential)	35’	35’ Applicable to Lots 1& 2 (0’ internal setback, Lot 4)
Landscape (% of net lot area)	15%	33%
Off Street Parking and Loading	31 spaces	Lot A (Carwash) 31 Spaces Lot B (Retail Pad) 30 Spaces

		Total 61 Spaces
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**Master Site Plan per Ordinance No. 2575/Projects not subjected to internal setbacks, only perimeter setbacks*

DUSCUSSION

The project has completed first review and comments have been sent to the applicant. Additional comments, beyond what were provided in first review, are included in this report and may be brought forward for discussion during the study session meeting.

Site

Staff has requested an overall site plan from the applicant for all projects, existing and proposed, on the Val Vista & Queen Creek site to ensure an overall cohesive site design as intended in the approved Use Permit and previous Design Review. Site Development Guidelines currently exist on the site and were approved under Spectrum Care (DR16-03 and UP15-07).

The proposed project on Lot 4 will be completed in two (2) phases. The first phase will include all on-site improvements including landscaping and parking areas for both pads and the construction of the proposed carwash. The second phase will include the construction of the retail pad. All off-site improvements were completed when the Enclave at Gilbert Senior Living was constructed.

There are two (2) proposed access points located on the southern portion of the site through the private drive off of Val Vista Drive. An additional emergency exit has been provided on the eastern portion of the site along the queuing lane for the carwash. The entrance to the carwash is located at the northeast corner of the site facing the Enclave at Gilbert Senior Living. *Staff is concerned about the noise created by the carwash entrance creating a possible nuisance for the residents. Additional screening that utilizes a combination of both screen walls and landscaping should be provided to screen the large entrance for the carwash from public view and reduce noise from projecting toward the care facility.*

Elevations Colors and Materials

Both proposed buildings on the subject site utilize a contemporary design with concrete masonry block as the primary base material with stone veneer and bronze finished metal as accent materials. The colors and materials proposed are in compliance with the Site Development Guidelines for Val Vista and Queen Creek, complimenting other existing and proposed developments within the area. A notable deviation from the approved colors and materials is seen in the accent materials for the proposed carwash, which include a bright red and yellow. *Although corporate colors utilized as accent materials is permitted, staff is concerned that since the proposed twenty-seven (27) vacuum bays will have red canopies, the bright red and yellow colors may overwhelm the site despite it being an accent material. Staff is also concerned with the large metal panel on the carwash located on the west elevation that projects over the roofline in terms of its size when compared to other features on the building and its lack of integration into the elevation.*

PUBLIC NOTIFICATION AND INPUT

The proposed project will require public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

REQUESTED INPUT

1. Overall Site Design - Specifically intensifying the screening of the carwash entrance through the additional of typical screen walls and increased plant materials.
2. Colors and Elevations - Specifically the proposed metal panel, vacuum bay canopies, and elevations for the carwash.

Respectfully submitted,



Sydney Bethel
Planner II

Attachments and Enclosures:

- 1) Vicinity Map
- 2) Aerial Photo
- 3) Master Site Plan
- 4) Master Site Plan including Proposed Developments (For Reference Only)
- 5) Site Plan
- 6) Landscape Plan
- 7) Grading and Drainage
- 8) Colors and Materials
- 9) Elevations
- 10) Floor Plan
- 11) Lighting and Details
- 12) Design Guidelines
- 13) Context Photos of Spectrum Care



Subject Site

E QUEEN CREEK RD

DR16-21
CST Corner
Store #1681
(Approved, no
CD submitted)

LOT 5

DR18-186
Val Vista &
Queen Creek
Retail

LOT 6

Vista del Oro
Centre

S VAL VISTA DR

DR18-193
Super Star
Cars Wash

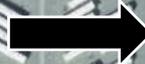
LOT 4

S KEY BISCAIYNE DR

The Enclave at Gilbert
Senior Living
(recently completed)

LOT 1

Perry High School



DR18-192
Val Vista &
Queen
Creek, Lot 3

LOT 3

Vista del Oro
South

The Enclave
at Gilbert
Senior Living
(under
construction)

LOT 2

E CHESTNUT LN

San Tan Estates



OLSSON ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL OR VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

REV. NO.	DATE	REVISIONS DESCRIPTION

REV. NO.	DATE	REVISIONS DESCRIPTION

drawn by:	WC
checked by:	PV
approved by:	PV
QA/QC by:	LS
project no.:	014-2396
drawing no.:	C01-SITE 142396.dwg
date:	3/25/16

SHEET INDEX

C01	SITE PLAN
C02	PRELIMINARY GRADING AND DRAINAGE PLAN
C03	GRADING DETAILS
C04	DETAILS
C05	WALL PLAN-1
C06	WALL PLAN-2
C07	WALL PLAN-3
C08	WALL PLAN-4
C09	PRELIMINARY UTILITY PLAN
C10	PHASING PLAN
SL1	SITE LIGHTING PHOTOMETRIC PLAN
SL2	ELECTRICAL SCHEDULES AND CUT SHEETS
SL3	PHOTOMETRIC PLAN LAYOUT

SITE PLAN KEYNOTES

- PROP. SCREEN WALL
- PROP. 6" CURB
- PROP. ADA PARKING SPACES
- PROP. CURB ACCESS RAMP
- PROP. TRASH ENCLOSURE
- PROP. COVERED PARKING
- PROP. CONCRETE SIDEWALK (WIDTH PER PLAN)
- PROP. DECEL LANE
- REMOVE CURB, SAWCUT 2" PAVEMENT
- PROP. FIRE LANE PATH
- PROP. BARRICADE
- EXIST. SIDEWALK TO REMAIN
- PROP. PAVEMENT
- PROP. PARKING (STALLS ARE 9' X 18' MIN) WITH 30" OVERHANG
- RELOCATE EXIST. TRAFFIC SIGN
- RELOCATE EXIST. LIGHT POLE
- PROP. MONUMENT SIGN
- PROP. FLAG POLE, SEE CIVIL DETAILS
- PROP. VISIBILITY TRIANGLE
- PROP. DECO PAVING PER TOG STD. DTL. GIL-250, ASHLAR SLATE. COORDINATE WITH ARCHITECT FOR COLOR
- 50' X 250' ARTERIAL LANDSCAPE SETBACK
- PROPOSED GAZEBO SEE LANDSCAPE PLANS FOR DETAILS.
- PROPOSED BIKE RACK SEE LANDSCAPE PLANS FOR DETAILS.
- PROP. FLUSH RIBBON CURB

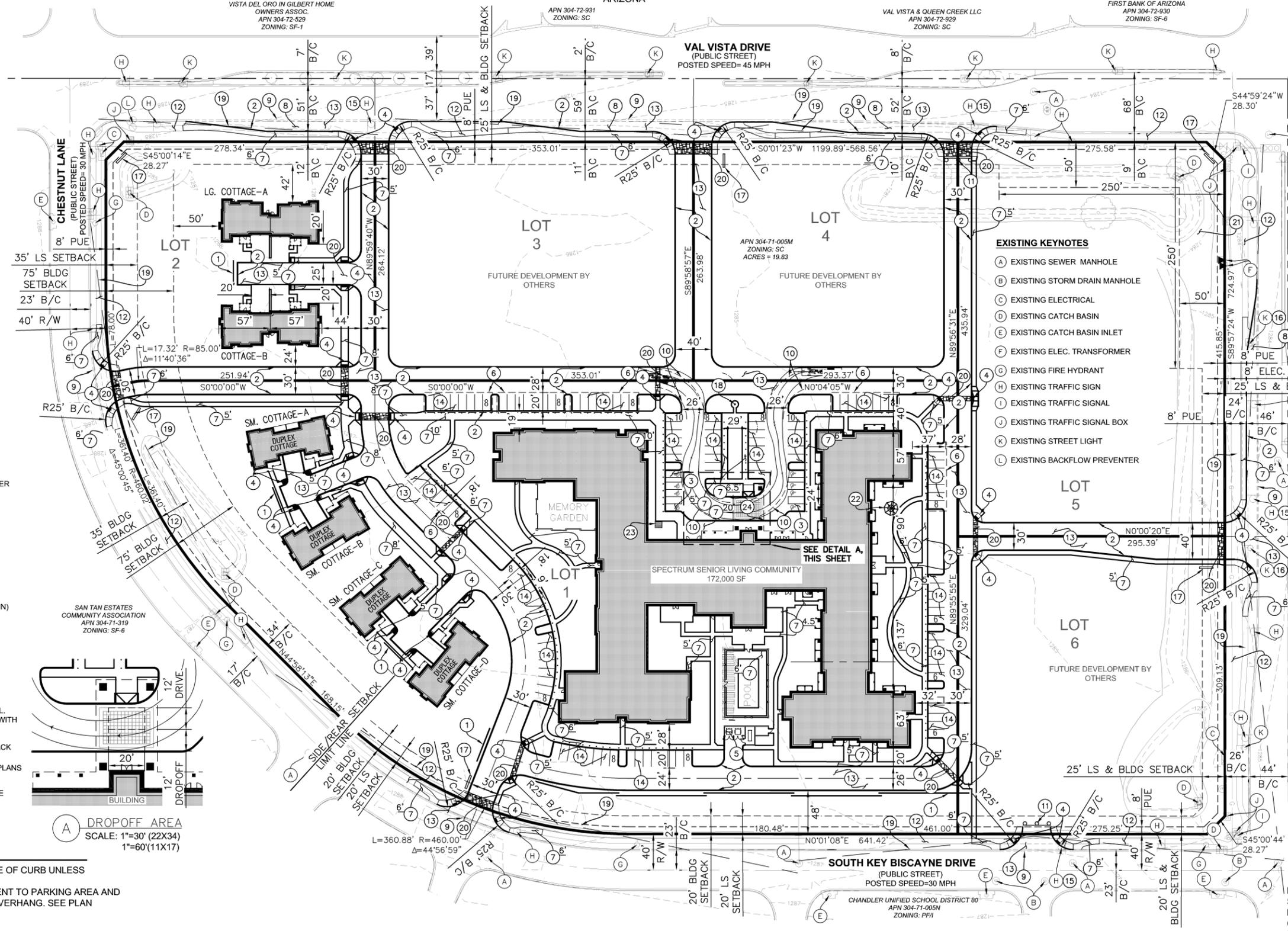
NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- MINIMUM 4" SIDEWALK ADJACENT TO PARKING AREA AND 30" TO ACCOMMODATE CAR OVERHANG. SEE PLAN DIMENSION FOR S/W WIDTH.

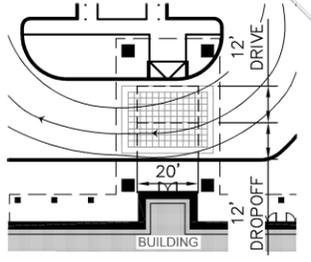
LEGEND

SIGN	
STREET LIGHT	
COVERED PARKING	
SUBJECT PROPERTY BOUNDARY	
SECTION LINE	
MONUMENT LINE	
PUBLIC RIGHT-OF-WAY (R/W)	
EASEMENT LINE	
MINOR CONTOUR	
MAJOR CONTOUR	
30" PARKING OVERHANG	

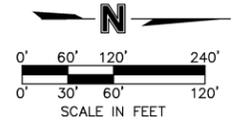
SITE PLAN
SPECTRUM SENIOR LIVING
A PORTION OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, TOWN OF GILBERT, MARICOPA COUNTY, ARIZONA



- EXISTING KEYNOTES**
- (A) EXISTING SEWER MANHOLE
 - (B) EXISTING STORM DRAIN MANHOLE
 - (C) EXISTING ELECTRICAL
 - (D) EXISTING CATCH BASIN
 - (E) EXISTING CATCH BASIN INLET
 - (F) EXISTING ELEC. TRANSFORMER
 - (G) EXISTING FIRE HYDRANT
 - (H) EXISTING TRAFFIC SIGN
 - (I) EXISTING TRAFFIC SIGNAL
 - (J) EXISTING TRAFFIC SIGNAL BOX
 - (K) EXISTING STREET LIGHT
 - (L) EXISTING BACKFLOW PREVENTER



A DROPOFF AREA
SCALE: 1"=30' (22X34)
1"=60' (11X17)



NOTE: SCALE ON TOP OF SCALE BAR IS FOR 11X17 SHEETS, SCALE ON BOTTOM OF SCALE BAR IS FOR 22X34 SHEETS.

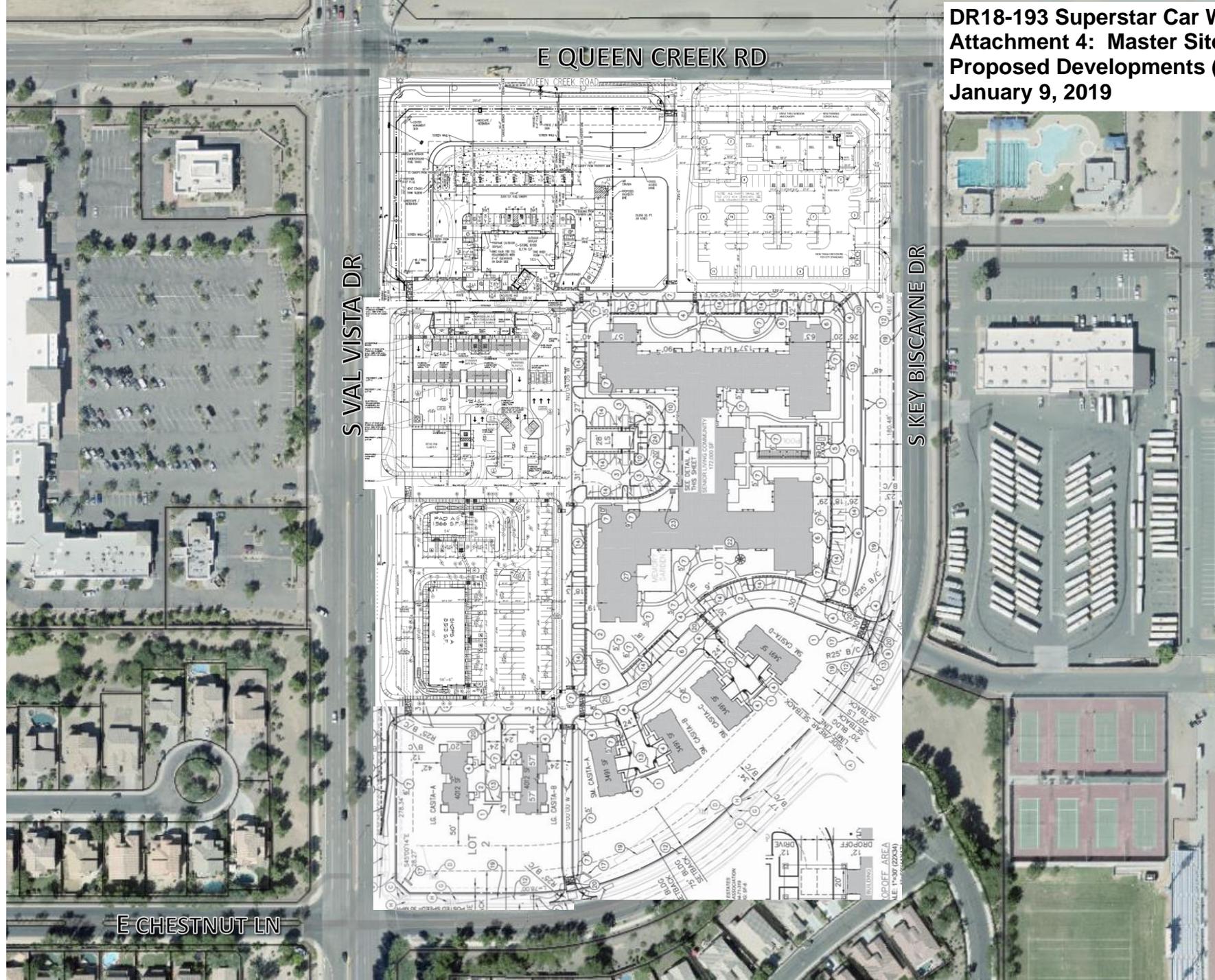
SITE DATA: UP15-18 SPECTRUM DEVELOPMENT Z15-25			
NET SITE AREA	(863,662 SQ. FT.) 19.83 AC	BUILDING:	
GROSS SITE AREA	(1,085,855 SQ. FT.) 24.93 AC	TOTAL BLDG S.F. (FLOORS 1-3)	172,000 SQ. FT.
ZONING	(SC WITH PAD OVERLAY)	TOTAL COTTAGE S.F.	20,064 SQ. FT.
CONGREGATE CARE LAND AREA	(261,487 SQ. FT.) 6.00 ACRES	MAXIMUM S.F.	210,000 SQ. FT.
		PARKING REQUIREMENTS:	
		TOTAL REQUIRED:	.5 PKG SPACE/UNIT (190)
		TOTAL PARKING PROVIDED:	95 SPACES
			134 SPACES

DESIGN TEAM CONTACTS		
OWNER/DEVELOPER	ENGINEER	ARCHITECT
SPECTRUM RETIREMENT COMMUNITIES, LLC 200 SPRUCE STREET, SUITE 200 DENVER, CO 80230 PHONE: (303) 360-8812 FAX: (303) 360-8814 CONTACT: MIKE LONGFELLOW	OLSSON ASSOCIATES 7250 NORTH 16TH STREET, SUITE 210 PHOENIX, ARIZONA 85020 PHONE: (602) 748-1000 FAX: (602) 748-1001 CONTACT: PIM VAN DER GIESSEN	GASTINGER WALKER HARDEN+BEETRIPLET BUCK 817 WYANDOTTE KANSAS CITY, MO 64105 PHONE: (816) 569-0834 CONTACT: LAURA SCOTT



DWG: F:\Projects\014-2396\CMD\Preliminary_Plans\Sheets\C01-SITE_142396.dwg
 DATE: Mar 29, 2016 10:46am
 USER: thuchinawes
 C_ARCH: 42396
 C_PBASE: 42396
 C_TBLK: 142396

**DR18-193 Superstar Car Wash
Attachment 4: Master Site Plan including
Proposed Developments (For Reference Only)
January 9, 2019**



** This is not an approved master site plan. This figure contains all projects approved and proposed on the site currently. This is for reference only.*

DR18-193 Superstar Car Wash
Attachment 5: Site Plan
January 9, 2019

APN: 304-75-978
 96,681 S.F.
 (2.22 ACRES)

E. QUEEN CREEK WASH

CENTERLINE OF E. QUEEN CREEK ROAD 360' +/- NORTH OF NORTH PROPERTY LINE OF APN: 304-18-916

GENERAL PROJECT NOTES

- THIS PROJECT IS PART OF THE SPECTRUM ZONING (Z18-24 ORDINANCE 2515) AND USE PERMIT (UPB-10).
- PROJECT TO COMPLY WITH THE APPROVED DESIGN GUIDELINES (DR18-03) FOR THE CENTER.
- SITE WALLS, LIGHTING, ENCLOSURES TO MATCH THE DESIGN GUIDELINES/DR18-03 APPROVAL.
- SIGNS PER DR18-03 COMPREHENSIVE SIGN PLAN.
- ENCLOSURES TO BE BUILT TO GILBERT STANDARD DETAIL-180. ANGLE OF ENCLOSURE SHOULD NOT BE GREATER THAN 30 DEGREES FROM CENTERLINE OF COLLECTION ROUTE. GATE SHOULD NOT BUNG INTO A DRIVE AISLE.
- ADA FACILITIES WITHIN THE PRIVATE DEVELOPMENT, INCLUDING THE ADA PARKING, SHALL FOLLOW 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

SITE DATA

PROJECT:	SUPER STAR CAR WASH
ADDRESS:	1655 E. QUEEN CREEK ROAD GILBERT, AZ 85297
DEVELOPER:	SUPERSTAR CAR WASH 14425 W. McDOWELL RD SUITE F-108 GOODYEAR, ARIZONA 85395 PHONE: 602-421-6717 CONTACT: REZA AMIRREZVANI
SCOPE:	A NEW 4,361 S.F. SUPERSTAR EXPRESS CAR WASH PROVIDING PROFESSIONAL AND AUTOMATED SERVICES
LEGAL DESCRIPTION:	SEE CIVIL
ASSESSOR PARCEL NO.:	304-75-976
ZONING:	SC
LOT-A - SITE AREA:	+/- 49,811 S.F. +/- 1.14 ACRES
LOT-B - SITE AREA:	+/- 26,546 S.F. +/- 0.61 ACRES
TOTAL - SITE AREA:	+/- 76,357 S.F. +/- 1.75 ACRES
LOT-A - BUILDING AREA:	4,361 S.F. GROSS
LOT-B - BUILDING AREA:	3,480 S.F. GROSS
STORIES:	SINGLE STORY
LOT COVERAGE:	
LOT-A - CAR WASH FACILITY:	8.8 %
LOT-B - RETAIL PAD:	13.1 %
LANDSCAPE AREA:	18,564 S.F. (LOT-A)
LANDSCAPE COVERAGE:	37.3% (LOT-A)
LANDSCAPE AREA:	6,393 S.F. (LOT-B)
LANDSCAPE COVERAGE:	24.1% (LOT-B)
OCCUPANCY:	B
CONSTRUCTION TYPE:	V-B w/ A.F.E.S.
ALLOWABLE AREA:	36,000 S.F. (SINGLE STORY)
CLEAR HEIGHT:	-
STRUCTURAL DEPTH:	-
SLOPE DEPTH:	1/4" PER 1'-0" MIN.
SCREENING HEIGHT:	50' MAX.
BUILDING HEIGHT:	26'

PARKING CALCULATIONS

REQUIRED PARKING CALCULATIONS - CAR WASH (LOT-A) = 4,361 S.F.

OCCUPANCY	S.F.	FACTOR	TOTAL
B-CAR WASH	4,361 S.F.	2 SPACES MIN.	2
TOTAL REQUIRED			2
PARKING PROVIDED			29
TOTAL REGULAR SPACES			29
TOTAL ACCESSIBLE SPACES			2
TOTAL COVERED VAC SPACES (INCLUDING ACCESSIBLE SPACE)			27
TOTAL SPACES ON SITE			31

REQUIRED PARKING CALCULATIONS - RETAIL (LOT-B) = 3,480 S.F.

OCCUPANCY	S.F.	FACTOR	TOTAL
B-RETAIL	1,500 S.F.	1 SPACE/250 S.F.	6
B-RESTAURANT	1,980 S.F.	1 SPACE/100 S.F.	20
TOTAL REQUIRED			26
PARKING PROVIDED			28
TOTAL REGULAR SPACES			28
TOTAL ACCESSIBLE SPACES			2
TOTAL SPACES ON SITE			30

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TOTAL REQUIRED			26
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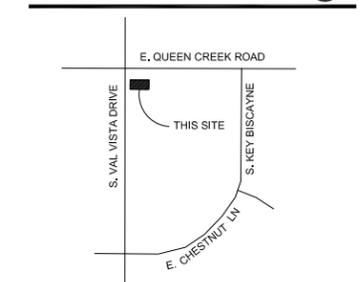
BICYCLE PARKING CALCULATIONS

CAR WASH:	REQUIRED	PROVIDED
RETAIL:	4	4
	4	4

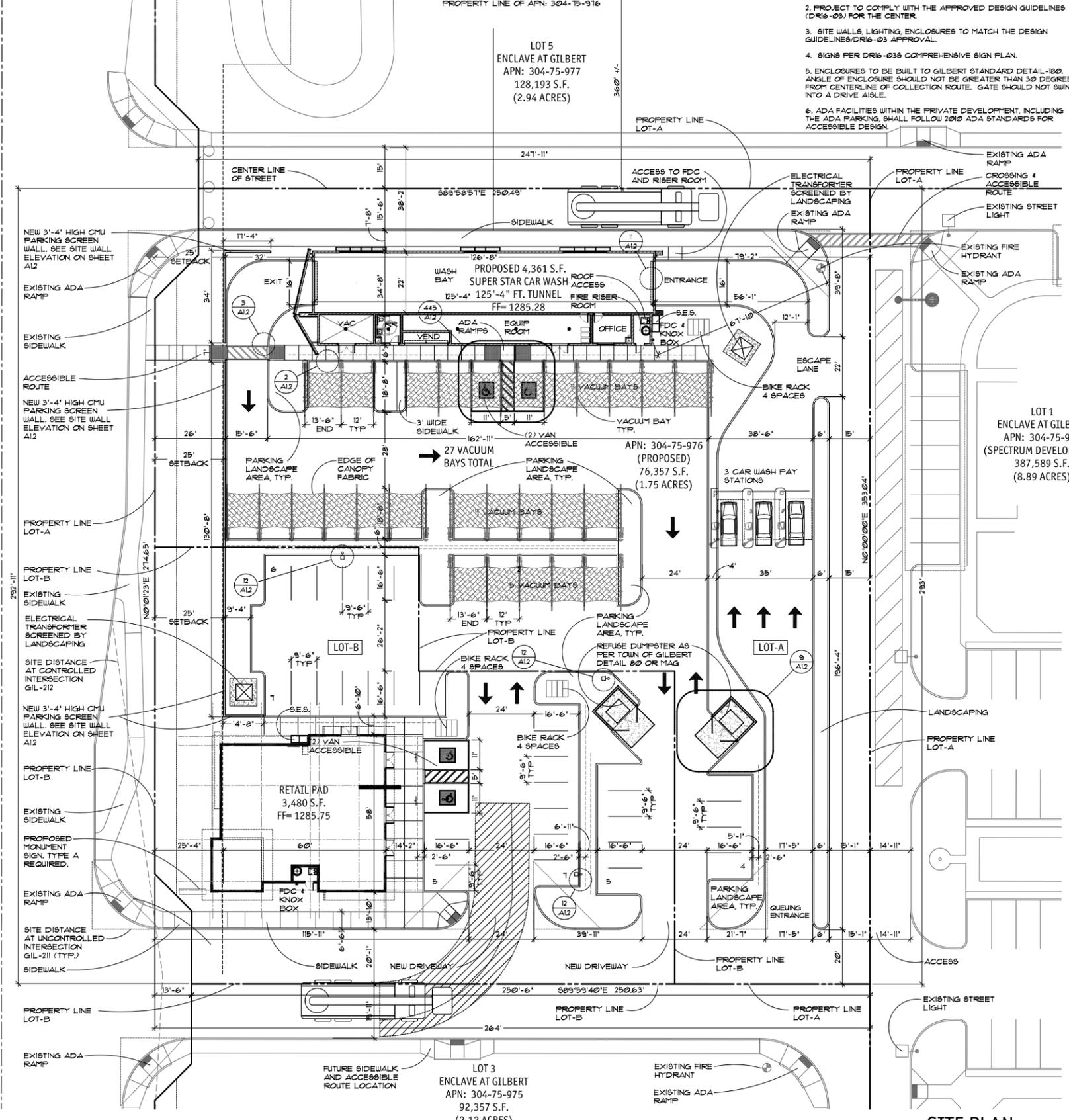
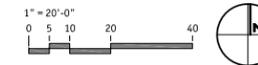
LEGEND

- PROPERTY LINE
- EASEMENT / SETBACK LINE
- CAR OVERHANG, MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN
- 6" CURB
- SITE WALL
- SALT FINISH CONCRETE SIDEWALK
- PAINT STRIPING ON PAVEMENT
- NEW FIRE HYDRANT
- EXISTING FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- ACCESSIBLE ROUTE / PATH OF TRAVEL
- FIRE RISER

VICINITY MAP N.T.S.



SITE PLAN



STANDARD FIRE DEPARTMENT NOTES

- THE TOWN OF GILBERT STANDARD FIRE DEPARTMENT NOTES ARE LISTED ON SHEET A111.
- FIRE APPARATUS ROADS TO COMPLY WITH THE 2012 INTERNATIONAL FIRE CODE AND SECTION 503 IN ITS ENTIRETY.
- FDC SHALL BE WITHIN 150' FEET OF A HYDRANT AND LOCATED ON THE ADDRESS SIDE OF THE BUILDING OR THE MOST NATURAL APPROACH FOR FIRE APPARATUS.
- BACK-FLOW PREVENTER SHALL BE INSTALLED ON THE FIRE RISER INSIDE RISER ROOM.
- REQUIRED FIRE-FLOW AND HYDRANTS PROVIDED BASED ON THE BUILDING CONSTRUCTION TYPE AND APPENDIX B 4 C.

PROJECT SITE NOTES

- ALL UTILITY LINES LESS THAN 60KV ON CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDERGROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AND ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 6' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
 - FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET.
 - SCREENING WITH A DECORATIVE MASONRY WALL OF SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET.
 - AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
 - THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS OR
 - BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF A HANGAR, HOP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
 - ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE MAINFOLD OR BUILDING; OR
 - ROUTED UNDERGROUND.
- ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
 - BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
 - HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
 - BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE L.D.C. INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNTED AND NATURALLY CONTOURED NO MORE THAN 50% OF THE REQUIRED RIGHT-OF-WAY AND LANDSCAPING TRACTS). LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAHMITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALL. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS, COLORS AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZES.

CAWLEY ARCHITECTS
 730 N. 52nd St. Ste. 203
 Phoenix, Arizona 85008
 P 602.393.5060
 CawleyArchitects.com

SUPERSTAR CAR WASH

1655 E. QUEEN CREEK ROAD GILBERT, AZ 85297

DATE

PRELIMINARY SITE PLAN
06-28-2018

PRE-APP SUBMITTAL
07-09-2018

DR SUBMITTAL
10-17-2018

NOTICE OF ALTERNATE BILLING CYCLE:

The contract allows the owner to select the submission of billings or estimates billing cycles other than 15th day of a month. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide the written description upon request.

The architectural design, conception and data presented herein represents an instrument of service provided in connection with the design-build process development agreement for the exclusive use of Cawley Architects. Any other use or reliance of these drawings may result in legal damage.

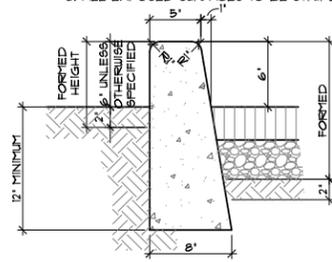
The site plan has been prepared without the benefit of a survey. Discrepancies may not be accurate or fully reflect all dimensions, data, etc. which may affect the design and usability of the site. All design shown here is to be constructed.

Project - SCW-60

A1.1

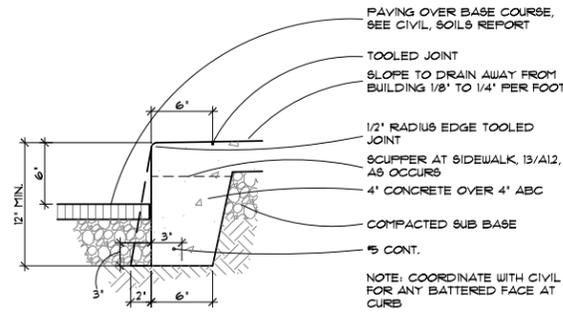
NOTES:

1. ALL VERTICAL SURFACES TO BE FORMED
2. VERTICAL SURFACES DOWN FROM 2" BELOW UNDISTURBED SOIL MAY BE PLACED AGAINST NEAT CUT IF APPROVED BY THE ENGINEER AND CONCRETE WILL NOT EXTEND MORE THAN 1" BEYOND THEORETICAL FACE.
3. ALL EXPOSED SURFACES TO BE STRIPED GREEN AND TROUPEL FINISHED.

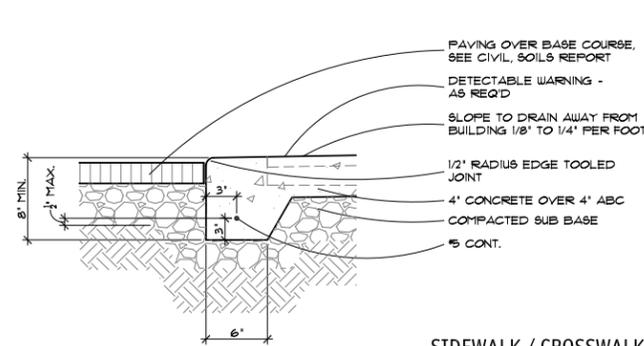


4. CONCRETE CURBS CONFORM TO SECT. 340.
5. MAXIMUM SPACING OF CONSTRUCTION JOINTS IS 10'-0".
6. CONCRETE TO BE CLASS B' PER SECT. 125.
7. WHEN PAVEMENT AND BASE COURSE EQUALS OR EXCEEDS 10" IN DEPTH, THE ENTIRE ROADWAY SIDE OF THE CURB SHALL BE FORMED. THE TOTAL CURB HEIGHT REMAINS 18" UNLESS NOTED OTHERWISE.

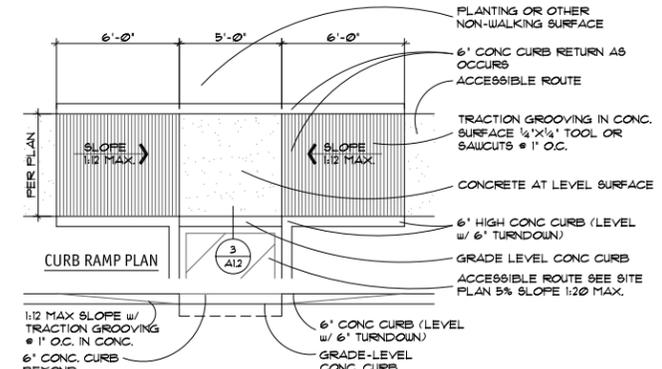
1 CURB TERMINATION
M.A.G. STD. DET. #222
SCALE: 1 1/2" = 1'-0"



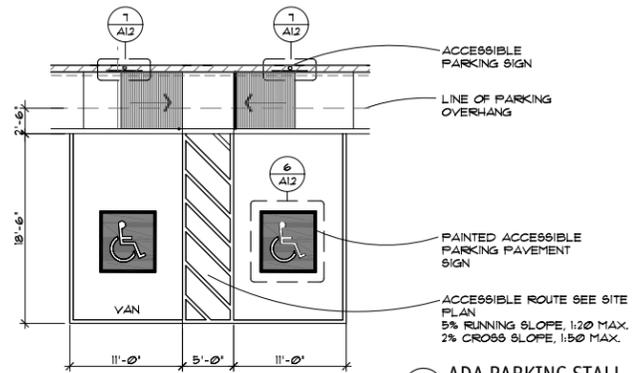
2 SIDEWALK / CURB AT ASPHALT
SCALE: 1 1/2" = 1'-0"



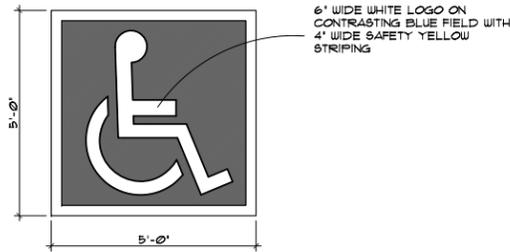
3 SIDEWALK / CROSSWALK CURB CUT @ ASPHALT
SCALE: 1 1/2" = 1'-0"



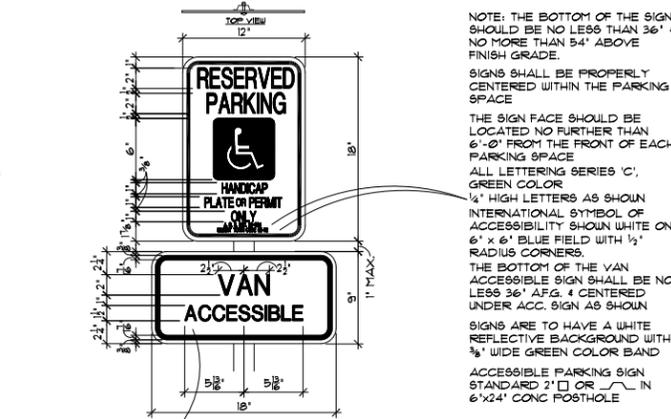
4 CURB RAMP
SCALE: 1/4" = 1'-0"



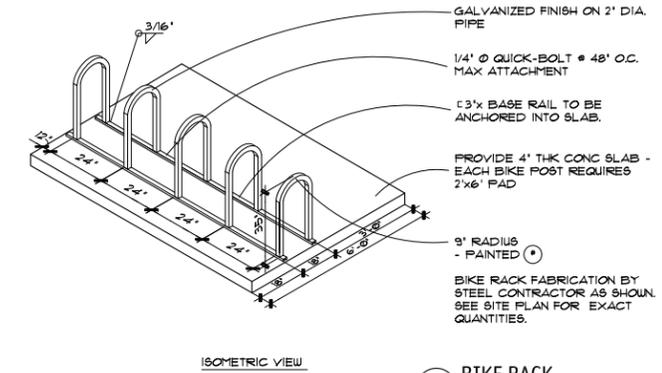
5 ADA PARKING STALL
SCALE: 1/8" = 1'-0"



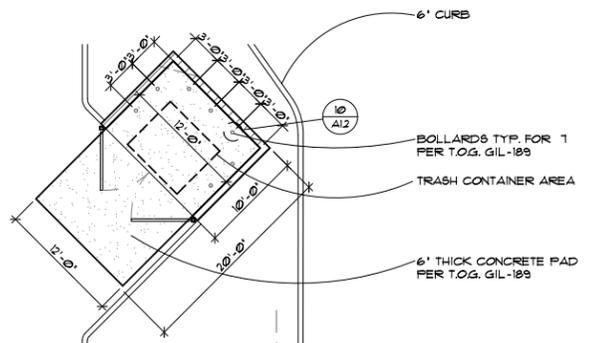
6 PAINTED ACCESSIBLE PAVEMENT SIGN
SCALE: 1/2" = 1'-0"



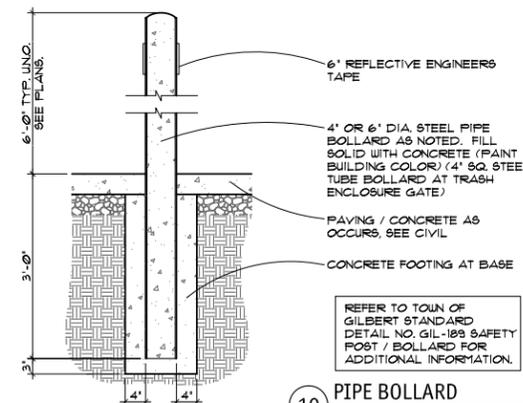
7 ACCESSIBLE PARKING SIGN
SCALE: 1 1/2" = 1'-0"



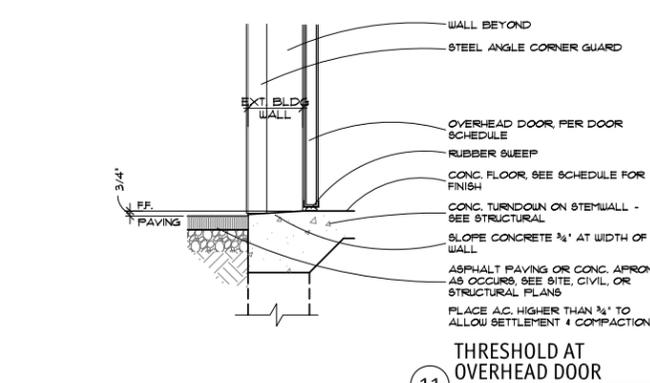
8 BIKE RACK
SCALE: 3/4" = 1'-0"



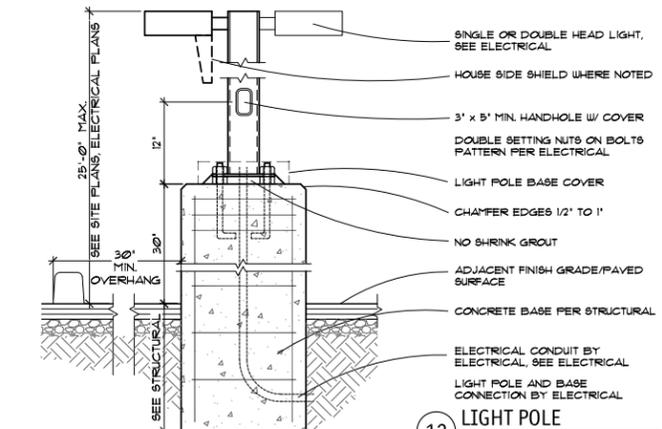
9 TRASH BIN
SCALE: 1/8" = 1'-0"



10 PIPE BOLLARD
SCALE: 3/4" = 1'-0"



11 THRESHOLD AT OVERHEAD DOOR
SCALE: 1" = 1'-0"

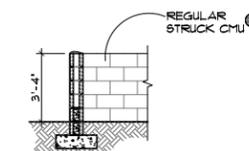


12 LIGHT POLE
SCALE: 1" = 1'-0"

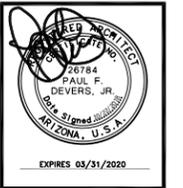
SITE WALL NOTES

1. PARKING SCREEN WALLS ARE TO BE A MINIMUM OF THREE FEET AND A MAXIMUM OF FOUR FEET ABOVE THE HIGHEST FINISHED GRADE OF THE PARKING AREA OR STREET CURB, WHICHEVER IS HIGHER.
2. PROVIDE STEPPED FOOTINGS PER THE STRUCTURAL DRAWINGS AT SCREEN WALLS IN RETENTION AREAS AS REQUIRED BY THE CIVIL GRADING AND DRAINAGE PLANS.
3. GROUT SOLID ALL CELLS BELOW GRADE.
4. SEE STRUCTURAL DRAWINGS FOR ALL FOOTING AND REINFORCING INFORMATION.
5. COORDINATE OPENINGS AND WEEPS IN BOTTOM OF WALLS WITH CIVIL DRAWINGS.

SITE WALLS SCALE: 1/4" = 1'-0"



- 3'-4" HIGH PARKING SCREEN WALL
- 8x8x16 SMOOTH REGULAR STRUCK CMU
- SEE SITE PLAN FOR WALL LOCATIONS
- SEE BUILDING ELEVATIONS FOR COLOR FINISH



SUPERSTAR CAR WASH

1655 E. QUEEN CREEK ROAD
GILBERT, AZ 85297

DATE

PRELIMINARY SITE PLAN
06-28-2018
PRE-APP SUBMITTAL
07-09-2018
DR SUBMITTAL
10-17-2018

NOTICE OF ALTERNATE BILLING CYCLE:

The contract allows the owner to require submission of billings or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide the written description upon request.

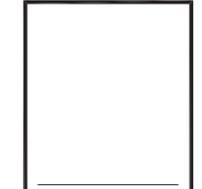
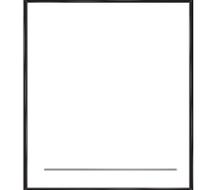
The architectural design, conception and data presented herein represents an instrument of service provided in connection with the design build phase development agreement for the exclusive use of Cawley Architects. Any other use or release of these drawings may result in claim damages.

The site plan has been prepared without the benefit of a survey. Distances may not be accurate or fully reflect all dimensions, etc., which may affect the design and usability of the site. All design shown here is strictly conceptual.



730 N. 52nd St. Ste. 203
 Phoenix, Arizona 85008
 P. 602.393.5060

CawleyArchitects.com



**SUPERSTAR
 CAR WASH**

1655 E. QUEEN
 CREEK ROAD
 GILBERT, AZ
 85297

DATE
PRELIMINARY SITE PLAN 06-28-2018
PRE-APP SUBMITTAL 07-09-2018
DR SUBMITTAL 09-12-2018

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**TOWN OF GILBERT
 LANDSCAPE NOTES:**

A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A CD IN PDF FORMAT AS-BUILTS ARE ALSO REQUIRED.

BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED. THE DEVICE MUST BE TESTED BY A STATE CERTIFIED TESTER, AND THE RESULTS FORWARDED TO THE TOWN OF GILBERT'S BACKFLOW SPECIALIST. THE TOWN OF GILBERT WILL PROVIDE AN UP-TO-DATE LIST OF STATE CERTIFIED TESTERS. ALL RELATED TESTING FEES SHALL BE AT THE EXPENSE OF THE INSTALLER.

DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HEREIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND RAMADAS.

NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.

NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FEET MINIMUM CLEAR CANOPY.

ALL TREES, SHRUBS AND GROUNDCOVERS SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA SPECIFICATIONS.)

CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED.

INSTALL ALL SIDEWALKS PER ADA REQUIREMENTS.

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL NEW AND EXISTING LANDSCAPE AREAS. CAGE, CONTROLLER, ASSOCIATED EXPOSED CONDUITS, AND ETC. SHALL CONFORM TO PREDOMINANT COLOR OF BUILDING.

ATTENTION:

THIS PLAN HAS BEEN REVIEWED FOR LANDSCAPE/IRRIGATION IMPROVEMENTS ONLY. A SEPARATE REVIEW AND PERMIT IS REQUIRED FOR STRUCTURES, ELECTRICAL, FENCES/WALLS, POOLS AND SIGNS. CONTACT THE BUILDING DEPARTMENT.

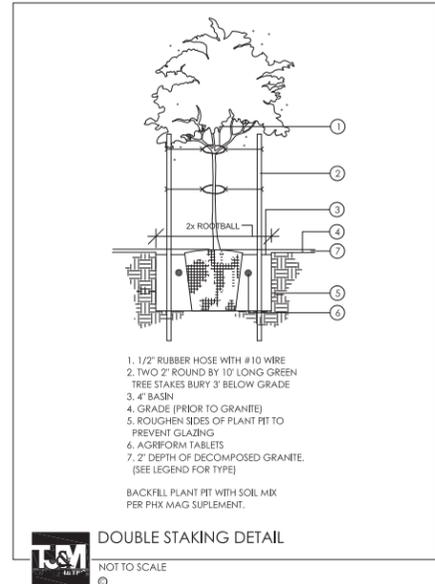
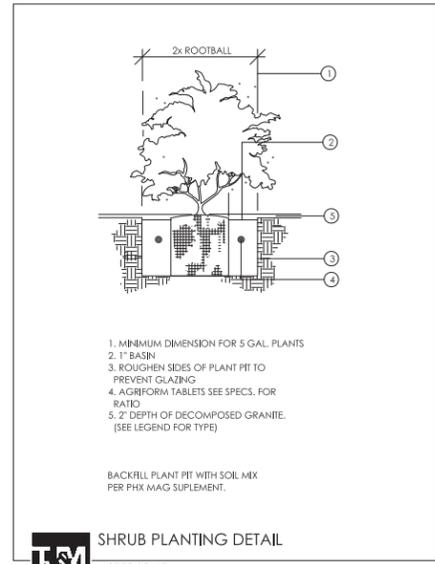
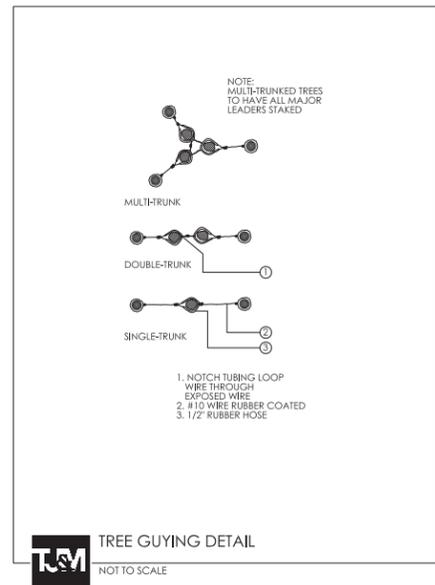
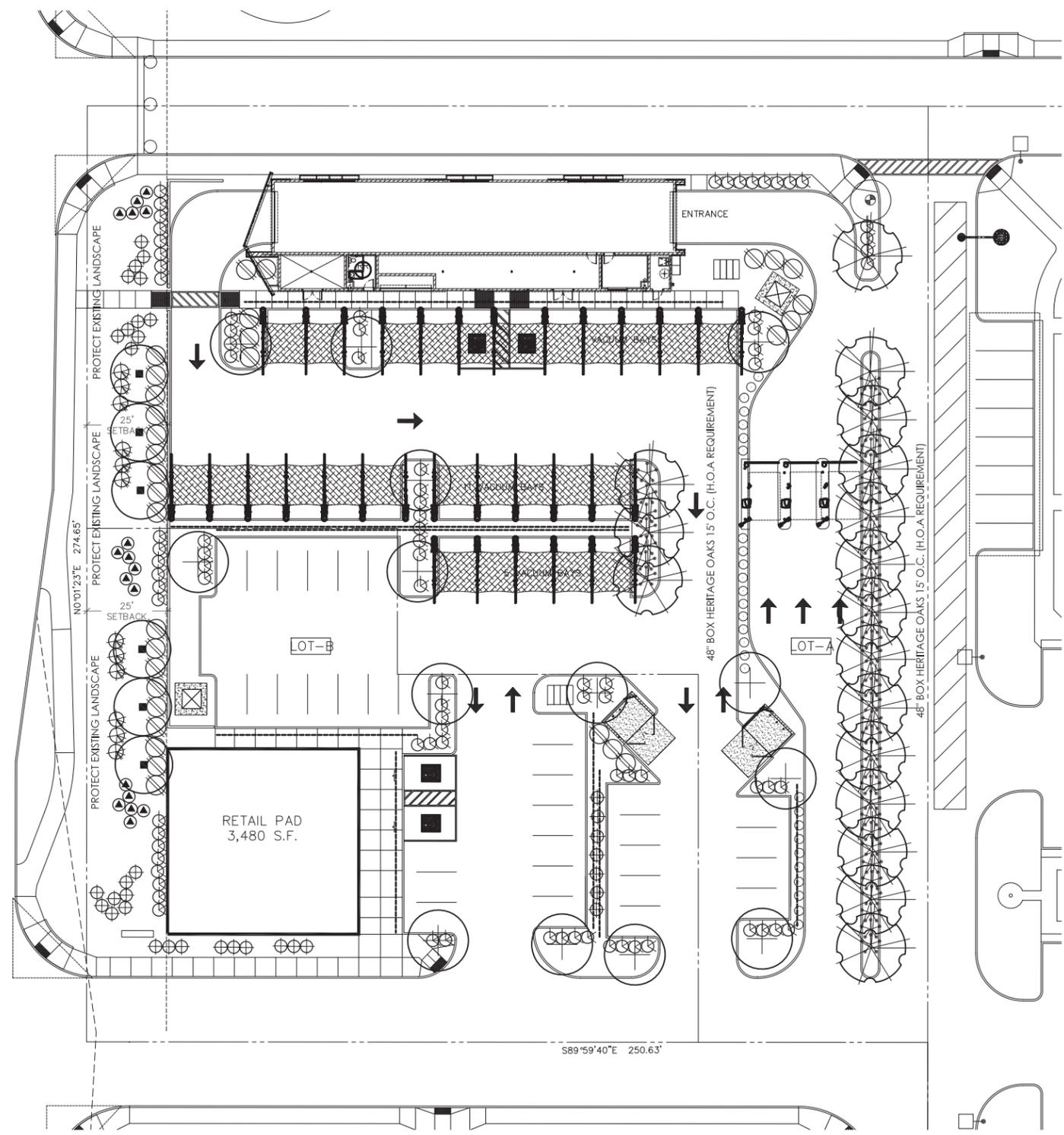
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

MAINTENANCE NOTE:

ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL BACKFLOW PREVENTION DEVICES SHALL MEET THE REQUIREMENTS OF THE TOWN OF GILBERT BACKFLOW PROTECTION ORDINANCE (#869) OTHERWISE KNOWN AS ARTICLE 7-14 OF THE TOWN OF GILBERT MUNICIPAL CODE: CROSS CONNECTION CONTROL (FOR ADDITIONAL BACKFLOW SPECS., SEE: GILBERT UNIFIED LAND DEVELOPMENT CODE APPENDIX.)

ALL BACKFLOW DEVICE SHALL BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE AN UP-TO-DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.



LANDSCAPE PLAN



LANDSCAPE LEGEND

- QUERCUS VIRGINIANA 'HERITAGE' HERITAGE LIVE OAK 48" BOX (14T, 10W) REQUIRED BY H.O.A.)
- ACACIA SALICINA WILLOW ACACIA 24" BOX
- DALBERGIA SISSOO SISSOO TREE 24" BOX (MATCHING)
- CAESALPINIA PULCHERRIMA MEXICAN BIRD OF PARADISE 15 GAL. (3-4" T, 3-4" W) REQUIRED BY HOA)
- BOUGAINVILLEA 'TORCH GLOW' TORCH GLOW BOUGAINVILLEA 5 GALLON
- EREMOPHILA MACULATA 'VALENTINE' VALENTINE BUSH 5 GALLON
- TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON
- HESPERALOE PARVIFLORA RED YUCCA 5 GALLON
- AGAVE GEMINIFLORA TWIN FLOWERED AGAVE 5 GALLON
- LANTANA MONTEVIDENSIS 'GOLD MOUND' 1 GALLON
- 1/2" SCREENED EXPRESS GOLD DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE DATA:

LANDSCAPE AREA:	18,564 S.F. (LOT-A)
LANDSCAPE COVERAGE:	37.3% (LOT-A)
LANDSCAPE AREA:	6,393 S.F. (LOT-B)
LANDSCAPE COVERAGE:	24.1% (LOT-B)

T.J. McQUEEN & ASSOCIATES, INC.
 LANDSCAPE ARCHITECTURE
 URBAN DESIGN
 SITE PLANNING
 10450 N. 74th Street, Suite 120
 Scottsdale, Arizona 85258
 P. (602) 265-0520
 EMAIL: timmcqueen@tjmla.net



Project - SCW-GO

La.01

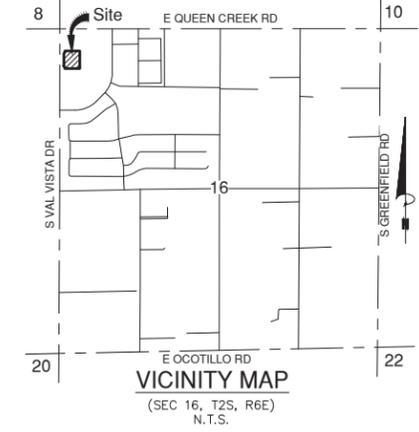
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SUPER STAR CAR WASH

PRELIMINARY GRADING AND DRAINAGE PLAN

GILBERT, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 6 EAST
 OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



Bowman

CONSULTING

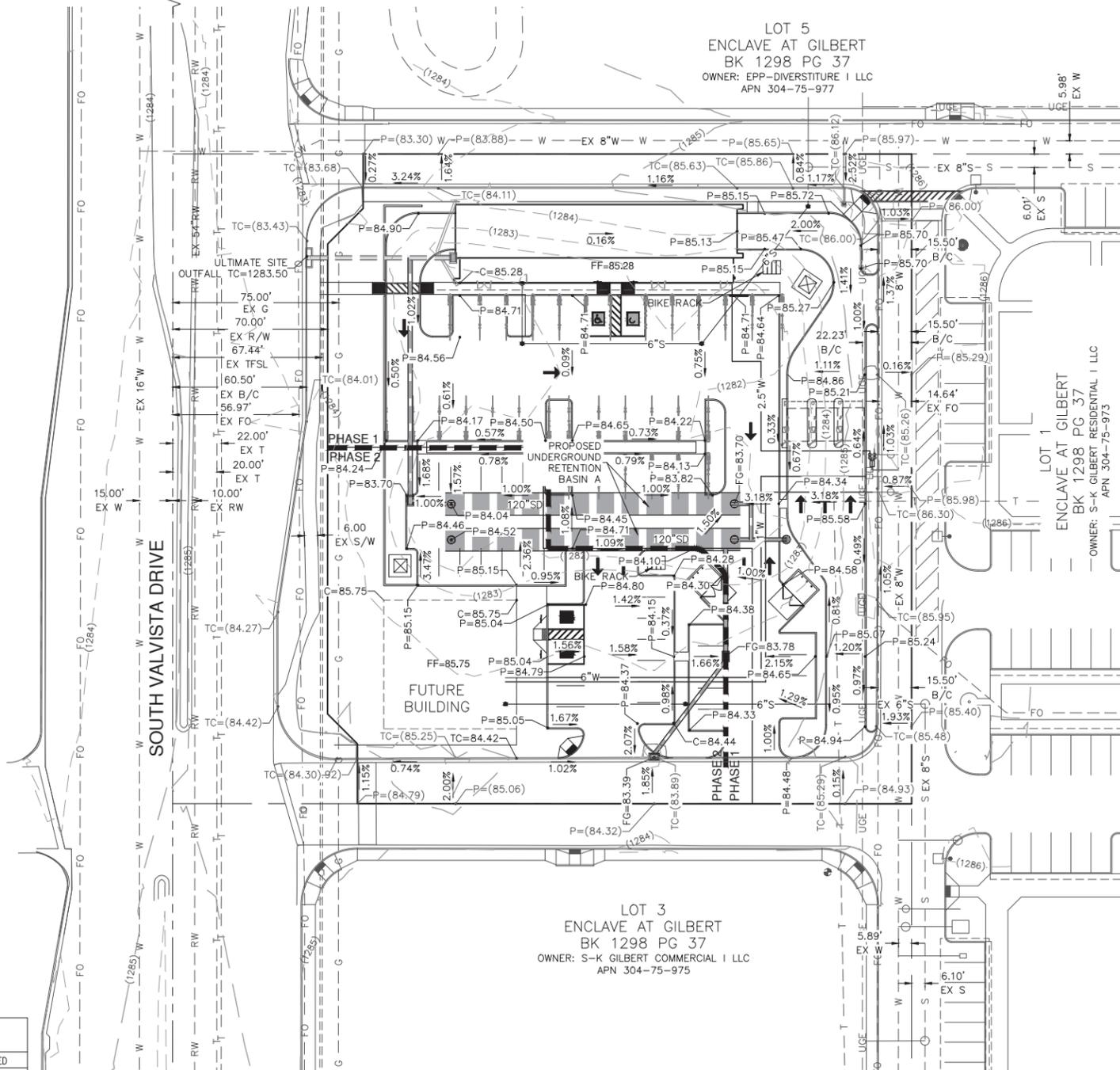
Bowman Consulting Group, Ltd.
 1295 West Washington, Ste 108
 Tempe, Arizona 85281
 Phone: (480) 629-8830
 www.bowmanconsulting.com
 © Bowman Consulting Group, Ltd.

LEGEND

- PHASE LINE
- CENTER LINE
- EASEMENT
- RIGHT-OF-WAY
- SURVEY MARKER
-
- FIRE HYDRANT
- WATER VALVE
- WATER METER BOX
-
- SEWER MANHOLE
- UNDERGROUND RETENTION
- STORM DRAIN PIPE
- VERTICAL CURB & GUTTER
- EXISTING CONTOUR ELEVATION
- PROPOSED CONTOUR ELEVATION
- RIGHT-OF-WAY
- PUBLIC UTILITIES & FACILITIES EASEMENT
- CENTER LINE
- BACK OF CURB
- TOP OF CURB
- GUTTER
- EDGE OF PAVEMENT
- INVERT ELEVATION
- EXISTING
- FINISHED FLOOR ELEVATION
- FINISHED PAD ELEVATION
- OVER HEAD ELECTRIC
- EXISTING GROUND ELEVATION
- UNDERGROUND ELECTRIC
- TELECOMMUNICATIONS LINE

NORTHWEST CORNER OF SECTION 16, T2S, R6E FOUND 3\"/>

LOT 1
 VISTA DEL ORO CENTRE
 BK 883 PG 27
 OWNER: VAL VISTA AND QUEEN CREEK LLC
 APN 304-72-929



ENGINEER

BOWMAN CONSULTING
 1295 WEST WASHINGTON STREET
 SUITE 108
 TEMPE, ARIZONA 85281
 PH: 480.629.8830
 CONTACT: DAVID MALDONADO-CAMOU

DEVELOPER

SSCW COMPANIES
 14425 WEST MCDOWELL ROAD
 SUITE F-108
 GOODYEAR, ARIZONA 85395
 PHONE: 602.421.6717
 CONTACT: REZA AMIRREZVANI

ARCHITECT

CAWLEY ARCHITECTS
 730 NORTH 52ND STREET
 SUITE 203
 PHOENIX, ARIZONA 85008
 PHONE: 602.393.5060
 CONTACT: BRIAN TIRKO

LANDSCAPE ARCHITECT

T.J. MCQUEEN AND ASSOCIATES INC.
 8433 EAST CHOLLA STREET
 SUITE 101
 SCOTTSDALE, ARIZONA 85260
 PHONE: 602.265.0320
 CONTACT: TIM MCQUEEN

BENCHMARK

WEST QUARTER CORNER OF SECTION 16,
 TOWN OF GILBERT BRASS CAP IN HAND
 HOLE ELEVATION: 1290.12

RETENTION CALCULATIONS

FOR 50-YR, 24-HR EVENT

RETENTION BASIN ID	AREA (AC)	RUNOFF COEF ("C")	Vr (cf)	Vp (cf)
A	1.15	0.88	0.48	0.48

$$VREQ = C \cdot (D/12) \cdot A$$

$$D = 3.0 \text{ INCH}$$

THIS SET OF CONSTRUCTION PLANS HAVE BEEN SUBMITTED TO THE FOLLOWING UTILITY COMPANIES FOR REVIEW AND TO DETERMINE ANY POTENTIAL CONFLICTS.

UTILITY COMPANY	COMPANY CONTACT	DATE SUBMITTED
SOUTHWEST GAS CORPORATION	NORMA JARDIN - 602-484.3857	
CENTURY LINK	DARALL CLEMONS - 623.238.3444	
COX COMMUNICATIONS	AMANDA HAMILTON - 623.328.4879	
TOWN OF GILBERT		
SALT RIVER PROJECT	DAVID TSO - 602.236.8684	

PRELIMINARY GRADING AND DRAINAGE PLAN
 SUPER STAR CAR WASH
 SEC QUEEN CREEK RD AND VALVISTA DR
 GILBERT, ARIZONA
 MARICOPA COUNTY

PROJECT NUMBER



PLAN STATUS

DATE	DESCRIPTION
AC	LGR
DESIGN	DMC
DRAWN	CHKD

JOB No. 050597-01-001

DATE : 10.16.18

GD01
 SHEET 01 OF 01

LEGEND

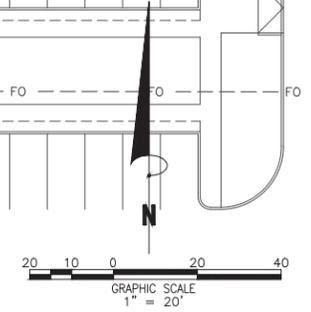
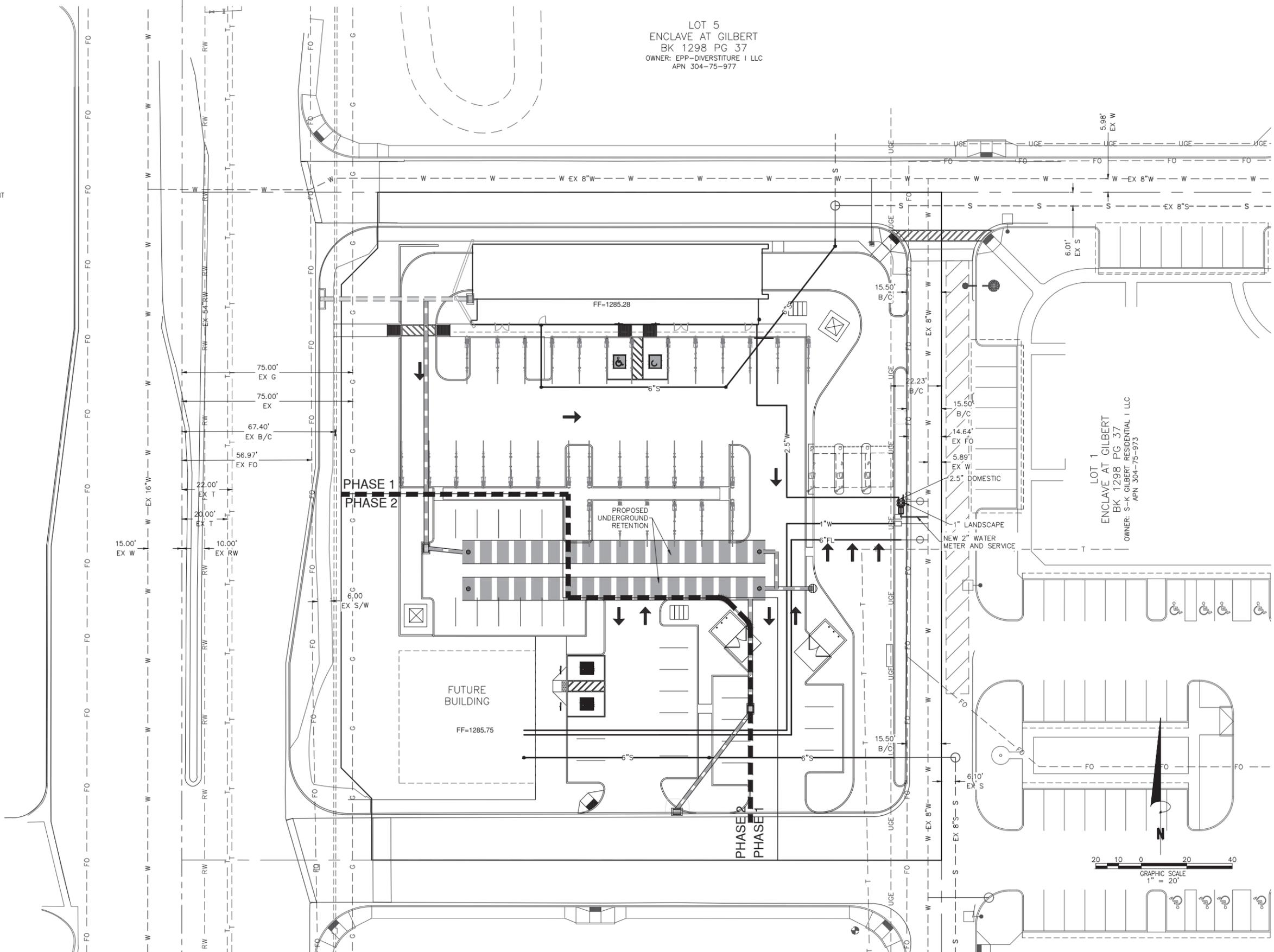
- PHASE LINE
- CENTER LINE
- EASEMENT
- RIGHT-OF-WAY
- SURVEY MARKER
- 8"W WATER LINE
- ⊗ FIRE HYDRANT
- ⊕ WATER VALVE
- WATER METER BOX
- 8"S SEWER LINE
- SEWER MANHOLE
- ▨ UNDERGROUND RETENTION
- ▨ STORM DRAIN PIPE
- ▨ VERTICAL CURB & GUTTER
- (1200) EXISTING CONTOUR ELEVATION
- 1200 PROPOSED CONTOUR ELEVATION
- R/W RIGHT-OF-WAY
- PUFE PUBLIC UTILITIES & FACILITIES EASEMENT
- CL CENTER LINE
- B/C BACK OF CURB
- TC TOP OF CURB
- G GUTTER
- EOP EDGE OF PAVEMENT
- INV INVERT ELEVATION
- EX EXISTING
- FF FINISHED FLOOR ELEVATION
- FP FINISHED PAD ELEVATION
- OHE OVER HEAD ELECTRIC
- EG EXISTING GROUND ELEVATION
- UGE UNDERGROUND ELECTRIC
- TELE TELECOMMUNICATIONS LINE

NORTHWEST CORNER OF SECTION 16, T2S, R6E FOUND 3" TOWN OF GILBERT BRASS CAP IN HAND HOLE AT THE INTERSECTION OF QUEEN CREEK ROAD AND VILVISTA DRIVE

LOT 1
VISTA DEL ORO CENTRE
BK 833 PG 27
OWNER: VAL VISTA AND QUEEN CREEK LLC
APN 304-72-929

LOT 5
ENCLAVE AT GILBERT
BK 1298 PG 37
OWNER: EPP-DIVERTITURE I LLC
APN 304-75-977

LOT 1
ENCLAVE AT GILBERT
BK 1298 PG 37
OWNER: S-K GILBERT RESIDENTIAL I LLC
APN 304-75-973



Bowman
CONSULTING

Bowman Consulting Group, Ltd.
1295 West Washington, Ste 108
Tempe, Arizona 85281
Phone: (480) 629-8830
www.bowmanconsulting.com
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PRELIMINARY GRADING AND DRAINAGE PLANS
SUPER STAR CAR WASH
SEC QUEEN CREEK RD AND VALVISTA DR
GILBERT, ARIZONA
MARICOPA COUNTY

PROJECT NUMBER



PLAN STATUS

DATE	DESCRIPTION
AC	LGR
DESIGN	DRAWN
SCALE	H: 1"=20'
	V: NONE
JOB No.	-
DATE	10,16,18

UL01
SHEET 01 OF 01



① **Material:** Paint
 Manuf: Sherwin Williams
 Color: 'Cargo Pants'
 Color Number: SW7738



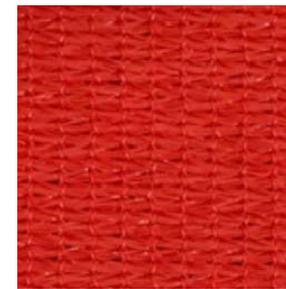
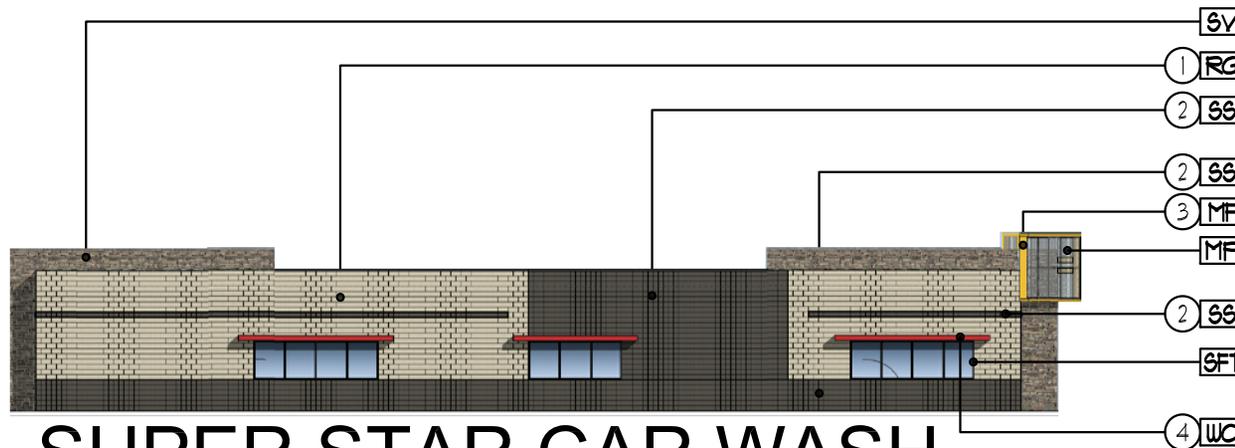
② **Material:** Paint
 Manuf: Sherwin Williams
 Color: 'Urbane Bronze'
 Color Number: SW7048



③ **Material:** Paint
 Manuf: Dunn Edwards
 Color: 'Sunflower'
 Color Number: DE5391



④ **Material:** Paint
 Manuf: Dunn Edwards
 Color: 'Hot Jazz'
 Color Number: DEA107



CF **Material:** Architectural Shade
 Fabric: Wash Bay & Vacuum
 Canopies
 Manufacturer: Gale Pacific
 Commercial 95
 Color: 'Cherry Red'

SUPER STAR CAR WASH

1655 E. QUEEN CREEK ROAD
 GILBERT, ARIZONA, 85297

ADDITIONAL MATERIALS:

- GL Oldcastle 1" Insulated blue reflective
- HM Hollow metal doors and frames Painted. Color: 'Cargo Pants'



SFT **Aluminum Storefront**
 Manuf.: Arcadia
 Finish: Anodized Aluminum
 Color: Dark Bronze AB-6



SY **Material:** Stone Veneer
 Manuf: Boral
 Style: Southern LedgeStone
 'Chadonnay'

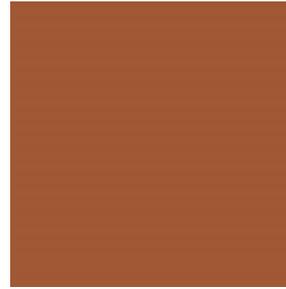




① **Material:** Paint
 Manuf: Sherwin Williams
 Color: 'Cargo Pants'
 Color Number: SW7738



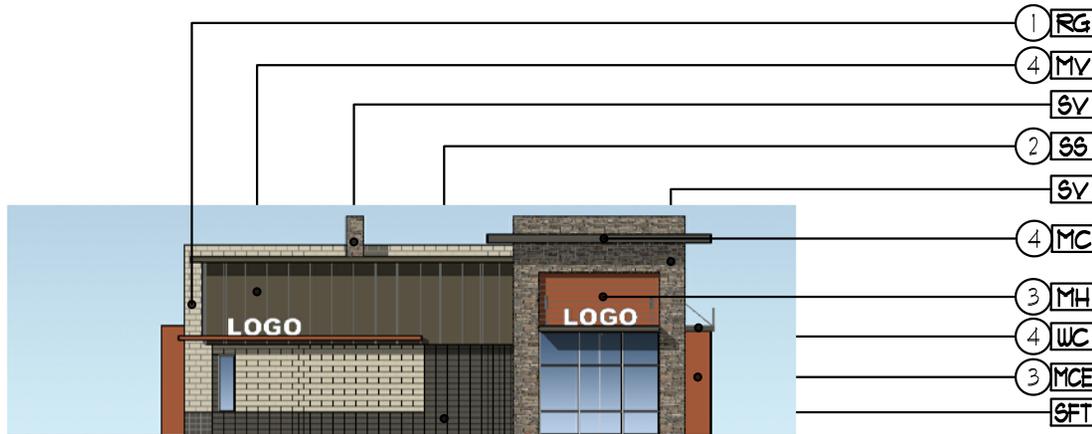
② **Material:** Paint
 Manuf: Sherwin Williams
 Color: 'Urbane Bronze'
 Color Number: SW7048



③ **Material:** Paint
 Manuf: Sherwin Williams
 Color: 'Pennywise'
 Color Number: SW6349



MH **Material:** Metal Panel
 Manuf: ATAS
 Style: Horizontal CS Wall Panel
 ③ 'Pennywise'



MV **Material:** Metal Panel
 Manuf: ATAS
 Style: Vertical CS Wall Panel
 ④ 'Dove Grey'

RETAIL FACILITY

1655 E. QUEEN CREEK ROAD
 GILBERT, ARIZONA, 85297

ADDITIONAL MATERIALS:

GL Oldcastle 1" Insulated blue reflective

HM Hollow metal doors and frames
 ① Painted. Color: 'Cargo Pants'

MCE Metal Canopy Entrance
 ③ Color: 'Pennywise'

MC Metal Canopy
 ④ Color: 'Dove Grey'



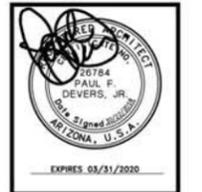
SFT **Aluminum Storefront**
 Manuf.: Arcadia
 Finish: Anodized Aluminum
 Color: #11 Clear AC-2



SY **Material:** Stone Veneer
 Manuf: Boral
 Style: Southern LedgeStone
 'Chadonnay'



The Artist Rendering & Material Specifications are for conceptual design only and should not be referred to as a construction document - See A7 Building Elevation Sheets for actual specifications



SUPERSTAR CAR WASH

1655 E. QUEEN CREEK ROAD
 GILBERT, AZ 85297

DATE

PRELIMINARY SITE PLAN 06-28-2018
 PRE-APP SUBMITTAL 07-09-2018
 DR SUBMITTAL 10-17-2018

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Project: - SCW-GG

A7.1

GENERAL NOTES

1. SEE STRUCTURAL FOR LINTEL INFORMATION.
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONTROL JOINTS.

MATERIAL SAMPLE APPROVAL

1. PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (i.e. PAINTED CMU, ETC.)
2. ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ONSITE IN SIZES OF NO LESS THAN 12" X 12".

MATERIAL KEY

MATERIAL	DESCRIPTION
[SV]	STONE VENEER - BORAL - SOUTHERN LEDGESTONE - CHARDONNAY
[RG]	SMOOTH FACE REGULAR STRUCK 8 X 8 X 16 CMU
[SS]	SINGLE-SCORE 8 X 8 X 16 CMU
[CP]	PRE-CAST CONCRETE CAP
[MF]	HOLLOW METAL DOORS & FRAMES PAINTED
[PF]	METAL PANEL FRAME, PAINTED
[WC]	METAL WINDOW CANOPY, PAINTED
[CF]	CANOPY FABRIC
[CT]	CANOPY TUBE
[PF]	METAL PANELS - MCNICHOLS - ROUND PERFORATED, 16 GAUGE, FLAIN STEEL COLD ROLLED, 3/4" ROUND ON 1" STAGGERED, 48,00000 WIDTH X 120,00000 LENGTH, MILL FINISH, 5% OPEN AREA, FINISHED EDGE STOCK# 1634011641

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES [SF]	DARK BRONZE ANODIZED ALUMINUM
GLAZING [GL]	1" INSULATED BLUE REFLECTIVE

INSULATED GLAZING SYSTEM SPECIFICATION

OLDCASTLE - 1" INSULATED GLAZING SYSTEM
 U-FACTOR: 0.29
 SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.18
 OUTBOARD: 1/4" PPG SOLARCOOL BLUE (SRF 2)
 AIRSPACE: 1/2" (AIR FILL)
 INBOARD: 1/4" PPG SOLARBAN 60 ON CLEAR (SRF 3)

1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.

COLOR KEY

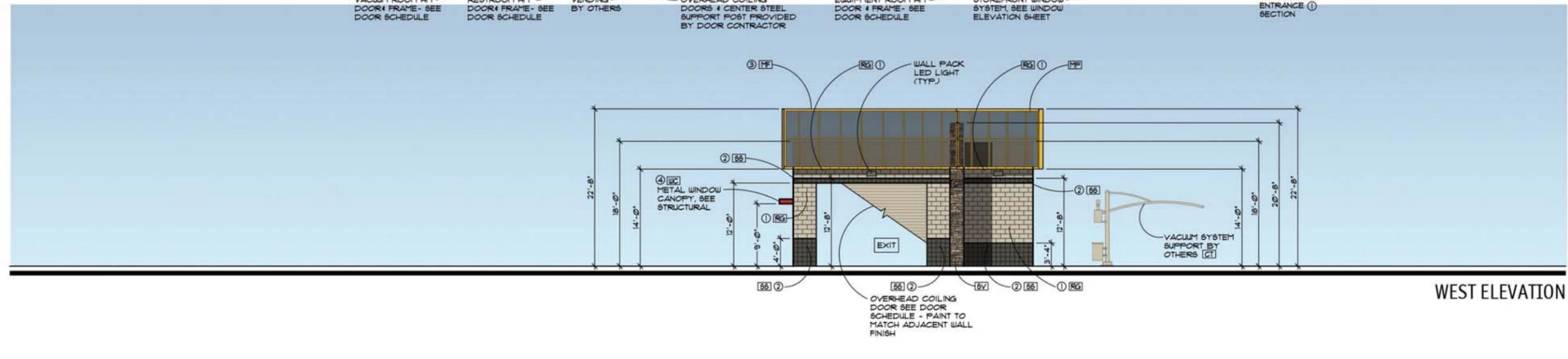
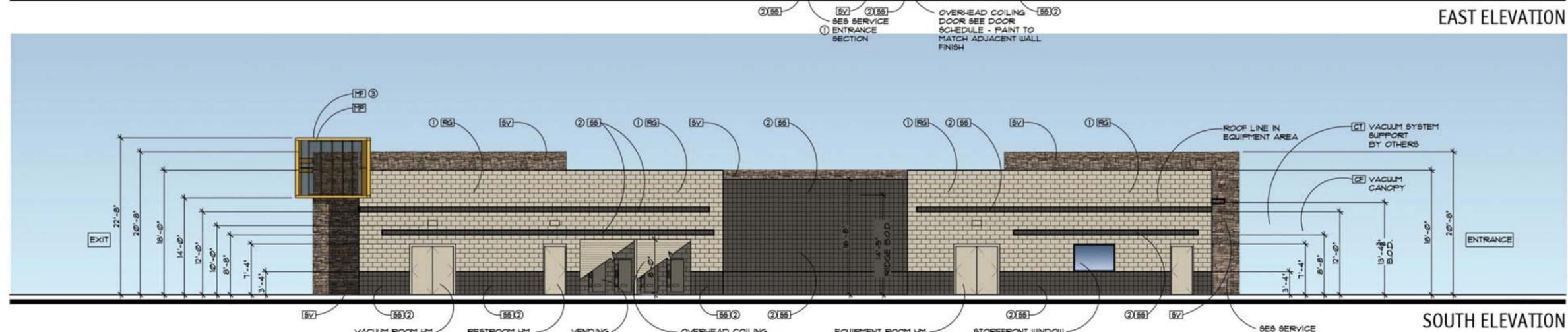
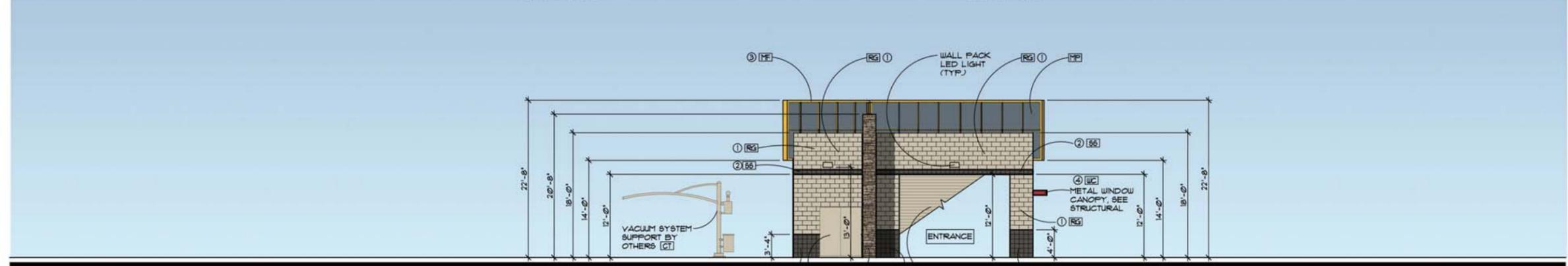
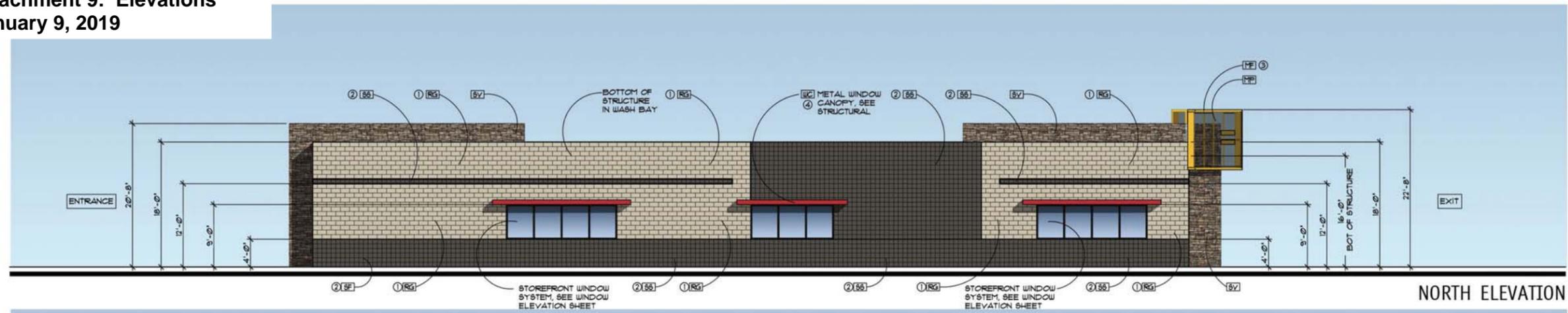
KEY	MANUF. - SHERWIN WILLIAMS COLOR NAME:
①	'CARGO PANTS' 8U1138
②	'URBANE BRONZE' 8U1048
KEY	MANUF. - DUNN EDWARDS COLOR NAME:
③	'SUNFLOWER' DE5391
④	'HOT JAZZ' DEA101

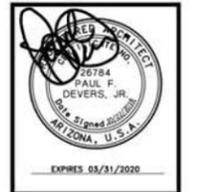
MATERIAL KEY

MATERIAL	KEY
BOLLARDS	③
SES	①
TRANSFORMER	①
[CF] CANOPY-FABRIC	TBD-COMMERCIAL 95
[CT] VACUUM - POS CANOPY ARCHES	POWDER PAINT - COLOR PROVIDED BY VENDOR

1. SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
2. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
3. G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
4. G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.

EXTERIOR ELEVATIONS





SUPERSTAR CAR WASH

1655 E. QUEEN CREEK ROAD
GILBERT, AZ 85297

DATE

PRELIMINARY SITE PLAN 06-28-2018
PRE-APP SUBMITTAL 07-09-2018
DR SUBMITTAL 10-17-2018

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Project: - SCW-GO

A7.2 RETAIL

GENERAL NOTES

1. SEE STRUCTURAL FOR LINTEL INFORMATION.
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONTROL JOINTS.

MATERIAL SAMPLE APPROVAL

1. PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER. (i.e. PAINTED CMU, ETC.)
2. ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ONSITE IN SIZES OF NO LESS THAN 12" X 12".

MATERIAL KEY

MATERIAL	DESCRIPTION
[M]	METAL PANEL SYSTEM BY METAL BUILDING MANUFACTURER - ATAS - CS WALL PANEL SYSTEM - VERTICAL PRE-FINISHED COLOR: DOVE GREY
[H]	METAL PANEL SYSTEM BY METAL BUILDING MANUFACTURER - ATAS - CS WALL PANEL SYSTEM - HORIZONTAL PAINTED - PENNYWISE
[EC]	METAL CANOPY ENTRANCE SYSTEM BY METAL BUILDING MANUFACTURER PRE-FINISHED COLOR: PENNYWISE
[SV]	STONE VENEER - BORAL - SOUTHERN LEDGESTONE - CHARDONNAY
[RG]	SMOOTH FACE REGULAR STRUCK 8 X 8 X 16 CMU
[SS]	SINGLE-SCORE 8 X 8 X 16 CMU
[CP]	MASONRY CAP
[PF]	METAL PANEL FRAME, PAINTED
[WC]	METAL WINDOW CANOPY, PAINTED

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES [SF]	CLEAR ANODIZED ALUMINUM
GLAZING [GL]	1" INSULATED BLUE REFLECTIVE

INSULATED GLAZING SYSTEM SPECIFICATION

OLDCASTLE - 1" INSULATED GLAZING SYSTEM
U-FACTOR: 0.29
SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.18
OUTBOARD: 1/4" PPG SOLARCOOL BLUE (SRF 2)
AIRSPACE: 1/2" (AIR FILL)
INBOARD: 1/4" PPG SOLARBAN 60 ON CLEAR (SRF 3)

1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.

COLOR KEY

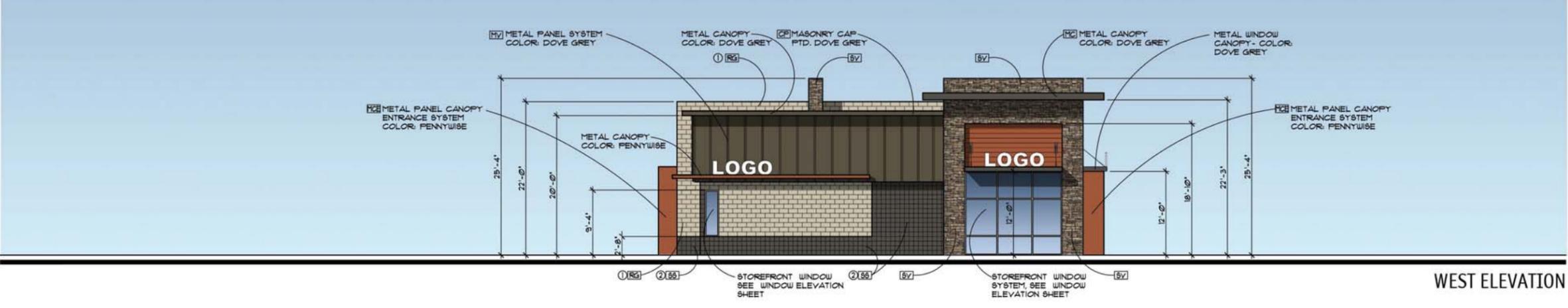
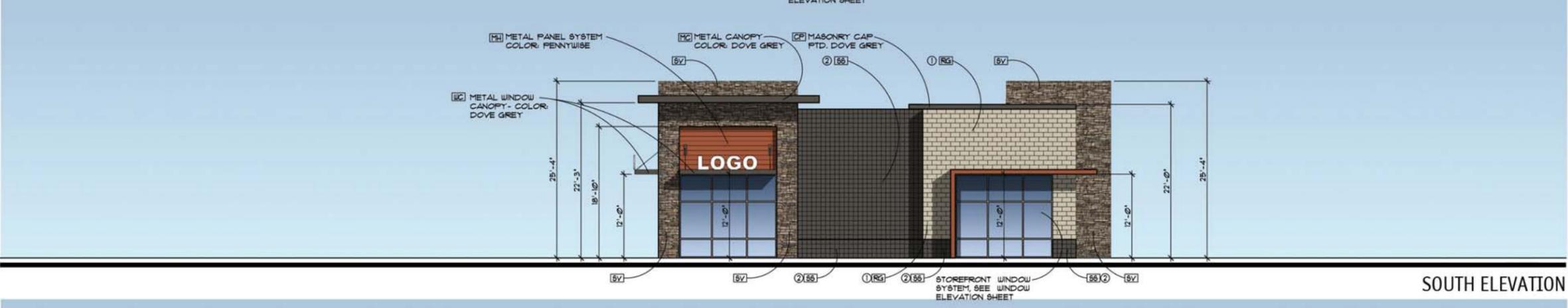
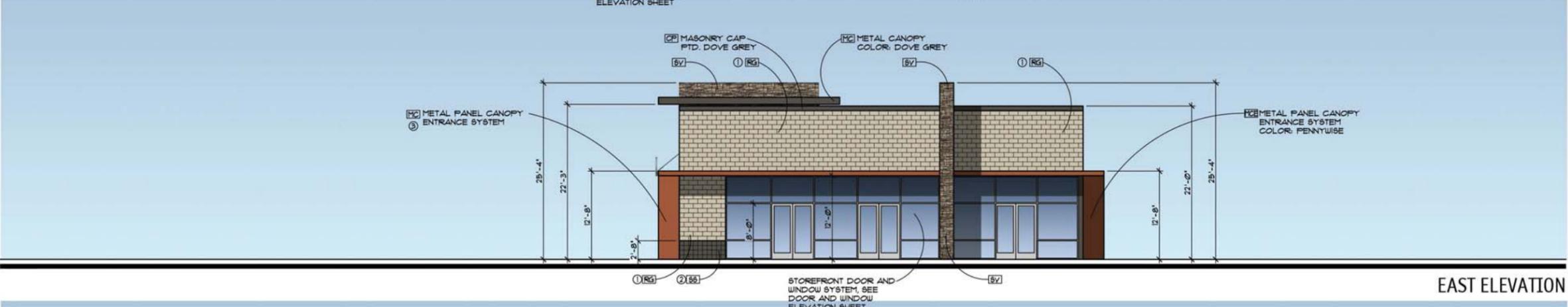
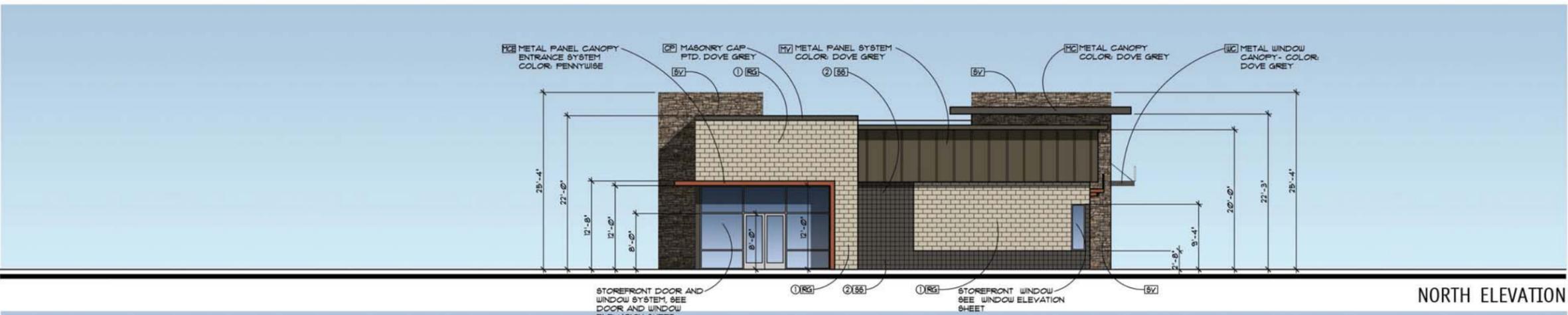
KEY	MANUF. - SHERWIN WILLIAMS COLOR NAME
①	'CARGO PANTS' SW7138
②	'URBANE BRONZE' SW7048
③	'PENNYWISE' SW6349

KEY	MANUF. - ATAS COLOR NAME
④	'DOVE GREY'

MATERIAL	KEY
BOLLARDS	CAUTION YELLOW
SES	①
TRANSFORMER	①
[CF] CANOPY-FABRIC	TBD-COMMERCIAL 99
[CT] VACUUM - FOS CANOPY ARCHES	POWDER PAINT- COLOR PROVIDED BY VENDOR

1. SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
2. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
3. G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
4. G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.

EXTERIOR ELEVATIONS



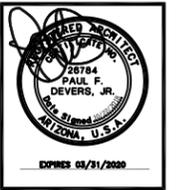
GENERAL NOTES

- DIMENSIONS AS NOTED IN THE DRAWINGS ARE TO THE CENTERLINE OF INTERIOR PARTITION WALLS AND TO THE INTERIOR FACE OF EXTERIOR MASONRY, UNO.
- REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL EQUIPMENT LOCATIONS DIMENSIONS, AND OTHER REQUIREMENTS.
- WHERE FLOORING MATERIALS CHANGE, THE CHANGE IS TO OCCUR AT THE CENTERLINE OF THE DOOR. FLOAT FLOOR AS REQUIRED PRIOR TO INSTALLATION OF FLOOR COVERING.
- MAINTAIN A MINIMUM OF 48" CLEAR UNOBSTRUCTED EMERGENCY EXIT ABLE TO DESIGNATED EXITS.
- PROVIDE LEVEL FLOOR OR LANDING ON EACH SIDE OF ALL DOORS. THRESHOLD SHALL BE LESS THAN 1/2" HIGH & BEVELED 1:2.
- ALL WALLS/FURRING IN TOILET ROOM AND OFFICE ROOM ARE TO HAVE R-II BATT INSULATION/SOUND BATT, UNO.
- SEE 501A NON-STRUCTURAL/NON-BEARING INTERIOR STEEL STUDS & TRACKS DETAIL FOR LIMITING HEIGHTS, GAUGE, SPACING, SEE SHEET A2.0
- VAPOR BARRIER PER G.S.N. AT RESTROOM, EQUIPMENT ROOM, AND OFFICE.
- VACUUM SYSTEM BY OTHERS UNDER SEPARATE PERMIT AS REQUIRED.



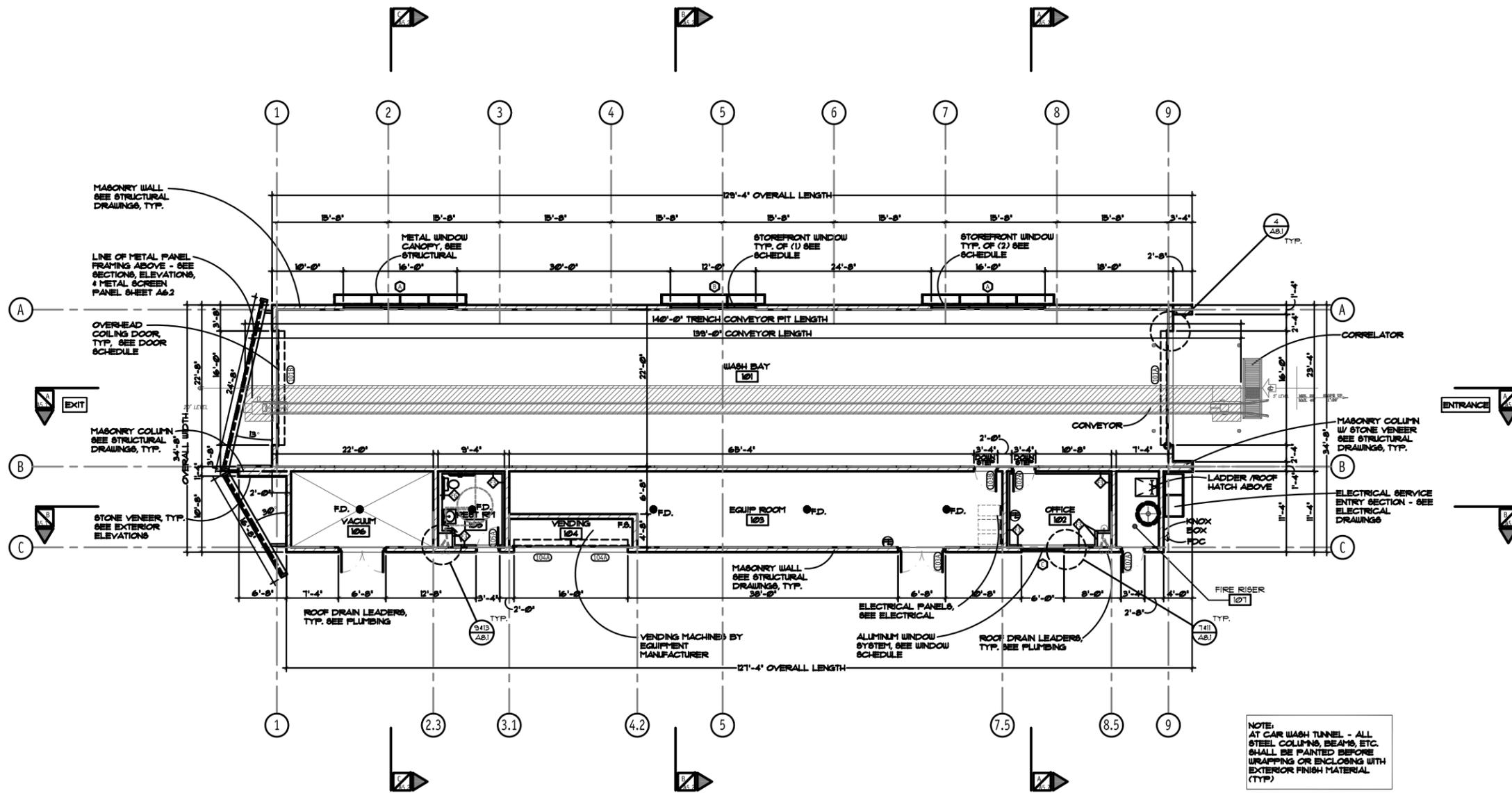
730 N. 52nd St. Ste. 203
 Phoenix, Arizona 85008
 P. 602.393.5060

CowleyArchitects.com



DRAWING LEGEND

- CHU WALL SEE ELEVATIONS
- INTERIOR DESIGN WALL
- INTERIOR PARTITION
- DOOR NUMBER
- DOOR NUMBER
- SHEET KEYNOTE
- WINDOW TYPE
- PARTITION TYPE KEY, SEE SHEET A2.0
- VERIFY OWNER REQUIREMENTS FOR CASEWORK & EQUIPMENT
- 3A 422C FIRE EXTINGUISHER MOUNTED ON BRACKET @ 48" AFF
- 3A 422C FIRE EXTINGUISHER RECESSED IN CABINET @ 48" AFF
- DETAIL NUMBER
- DETAIL KEY
- SECTION NUMBER
- GRID BUBBLE



NOTE:
 AT CAR WASH TUNNEL - ALL STEEL COLUMNS, BEAMS, ETC. SHALL BE PAINTED BEFORE WRAPPING OR ENCLOSING WITH EXTERIOR FINISH MATERIAL (TYP)

BUILDING AREA
 4361 SF.

TUNNEL INSIDE DIMS
 L=125'-4", W=22'-0"

SUPERSTAR
 CAR WASH

1655 E. QUEEN
 CREEK ROAD
 GILBERT, AZ
 85297

DATE

PRELIMINARY SITE PLAN
 06-28-2018

PRE-APP SUBMITTAL
 07-09-2018

DR SUBMITTAL
 10-17-2018

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GENERAL NOTES

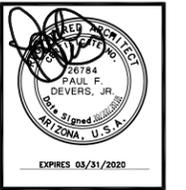
- DIMENSIONS AS NOTED IN THE DRAWINGS ARE TO THE CENTERLINE OF INTERIOR PARTITION WALLS AND TO THE INTERIOR FACE OF EXTERIOR MASONRY, UNO.
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- PROVIDE LEVEL FLOOR OR LANDING ON EACH SIDE OF ALL DOORS. THRESHOLD SHALL BE LESS THAN 1/2" HIGH & BEVELED 1:2.
- ALL WALLS/FURRING IN TOILET ROOM AND OFFICE ROOM ARE TO HAVE R-11 BATT INSULATION/SOUND BATTS, UNO.
- SEE SSMA NON-STRUCTURAL/NON-BEARING INTERIOR STEEL STUDS & TRACKS DETAIL FOR LIMITING HEIGHTS, GAUGE, SPACING, SEE SHEET A2.0
- VAPOR BARRIER PER G.S.N.



CAWLEY ARCHITECTS

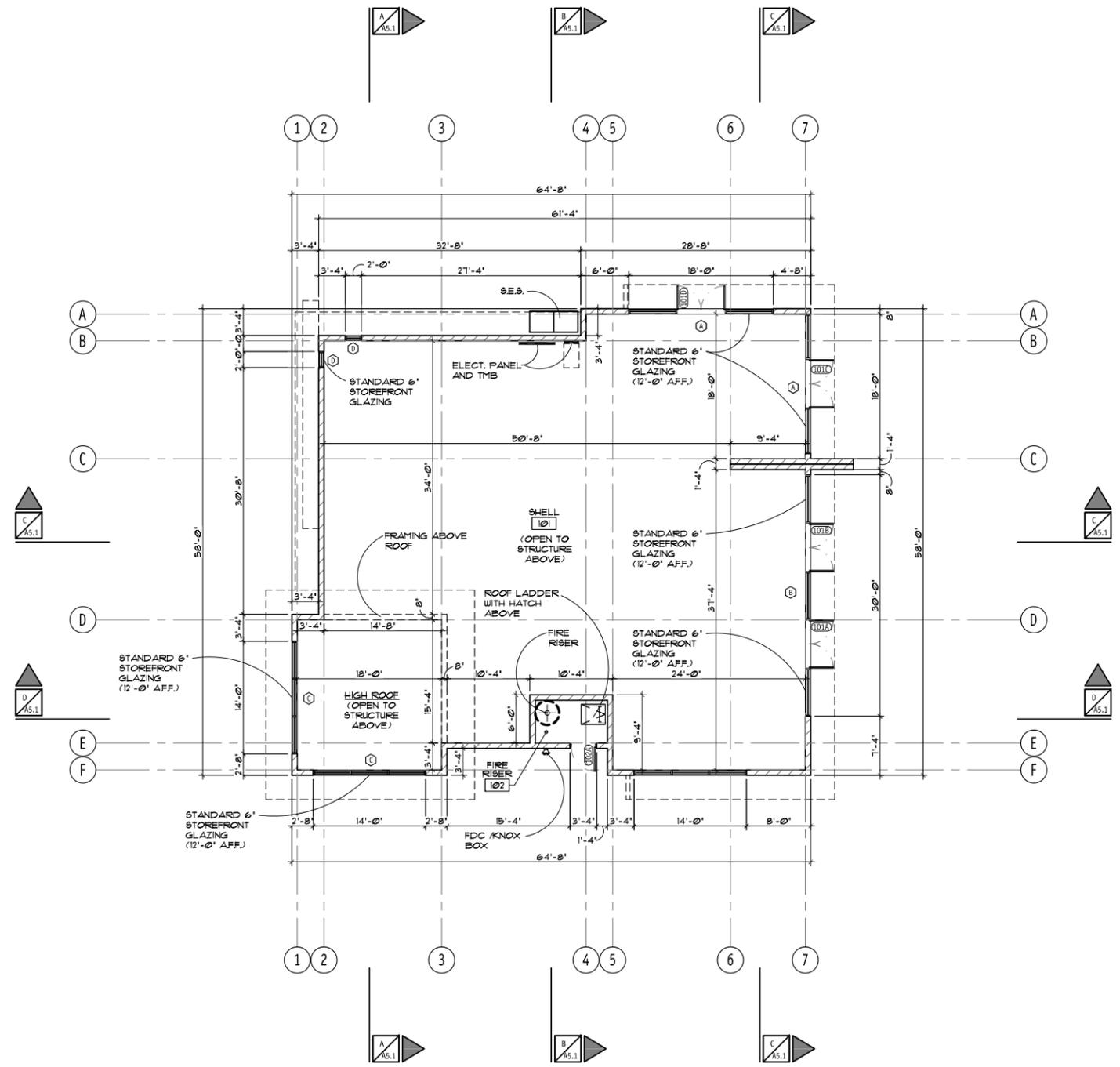
730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P. 602.393.5060

CowleyArchitects.com



DRAWING LEGEND

- ████████ CMU WALL SEE ELEVATIONS
- ▬▬▬▬ INTERIOR DEMISING WALL
- ▬▬▬▬ INTERIOR PARTITION
- DOOR NUMBER
- DOOR NUMBER
- ⊙ SHEET KEYNOTE
- ⊙ WINDOW TYPE
- ◆ PARTITION TYPE KEY, SEE SHEET A2.0
- ▲ VERIFY OWNER REQUIREMENTS FOR CASEWORK & EQUIPMENT
- ⊕ 3A 402BC FIRE EXTINGUISHER MOUNTED ON BRACKET @ 48" AFF
- ⊕ 3A 402BC FIRE EXTINGUISHER RECESSED IN CABINET @ 48" AFF
- ⊙ DETAIL NUMBER
- ⊙ DETAIL KEY
- ⊙ SHEET NUMBER
- ⊙ SECTION NUMBER
- ⊙ WALL SECTION
- ⊙ SHEET NUMBER
- ⊙ SECTION NUMBER
- ⊙ BUILDING SECTION
- ⊙ SHEET NUMBER
- ⊙ GRID BUBBLE



BUILDING AREA
3,455 SF.

FLOOR PLAN
1/8" = 1'-0"

**SUPERSTAR
CAR WASH**

1655 E. QUEEN
CREEK ROAD
GILBERT, AZ
85297

DATE
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06-28-2018
PRE-APP SUBMITTAL
07-09-2018
DR SUBMITTAL
10-17-2018

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Project - SCW-C60

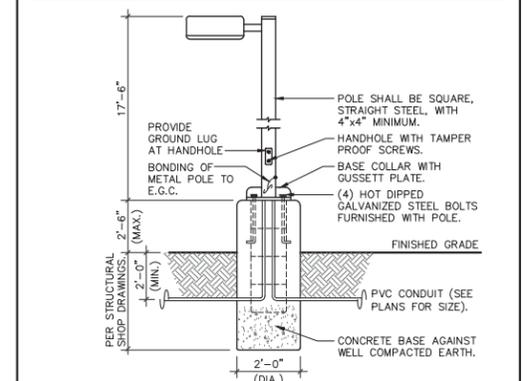
**A2.1
RETAIL**

LUMINAIRE SCHEDULE

1. PROVIDE 90 MINUTE EMERGENCY BATTERY BACK-UP FOR ALL EMERGENCY FIXTURES. SEE SCHEDULE BELOW FOR SPECIFICATIONS AND LUMEN REQUIREMENTS.
2. MODULAR WIRING SYSTEM FOR LIGHT FIXTURES IS AN ACCEPTABLE ALTERNATE.
3. BASE BID FOR LUMINAIRES SHALL BE BASED ON MANUFACTURERS LISTED IN CONTRACT DOCUMENTS. UPON AWARD OF PROJECT, ALTERNATES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED WITH WRITTEN OWNER APPROVAL & AN ITEMIZED DEDUCT TO BASE BID.
4. ALTERNATE FIXTURE SELECTIONS MAY REQUIRE ADDITIONAL TIME FOR SUBMITTAL REVIEW & POSSIBLE ENGINEERING DESIGN CHANGES, TO BE BILLED TO THE CONTRACTOR.
5. PROVIDE MINIMUM 10 MINUTE TIME DELAY ON EMERGENCY FIXTURES WHEN HID AREA LIGHTING IS USED.

MARK	MANUFACTURER MODEL NUMBER	VOLTS	LAMPS CR/CC/T INPUT WATTS	REMARKS/MOUNTING
SA1	LITHONIA DSX1-LED-P2-40K-T5W-MVOLT	MVOLT	LED 70 WATTS	SINGLE HEAD POLE LIGHT FIXTURE
SA2	LITHONIA DSX1-LED-P2-40K-T5W-MVOLT	MVOLT	LED 70 WATTS	SINGLE HEAD POLE LIGHT FIXTURE
SB	NORDEON VK-4000LM-4000K-4FT-DF	MVOLT	LED 36.35 WATTS	SURFACE MOUNT TO CANOPY
SC	LITHONIA WST-LED-P1-40K-VW-MVOLT	MVOLT	LED 12 WATTS	WALL MOUNT FIXTURE

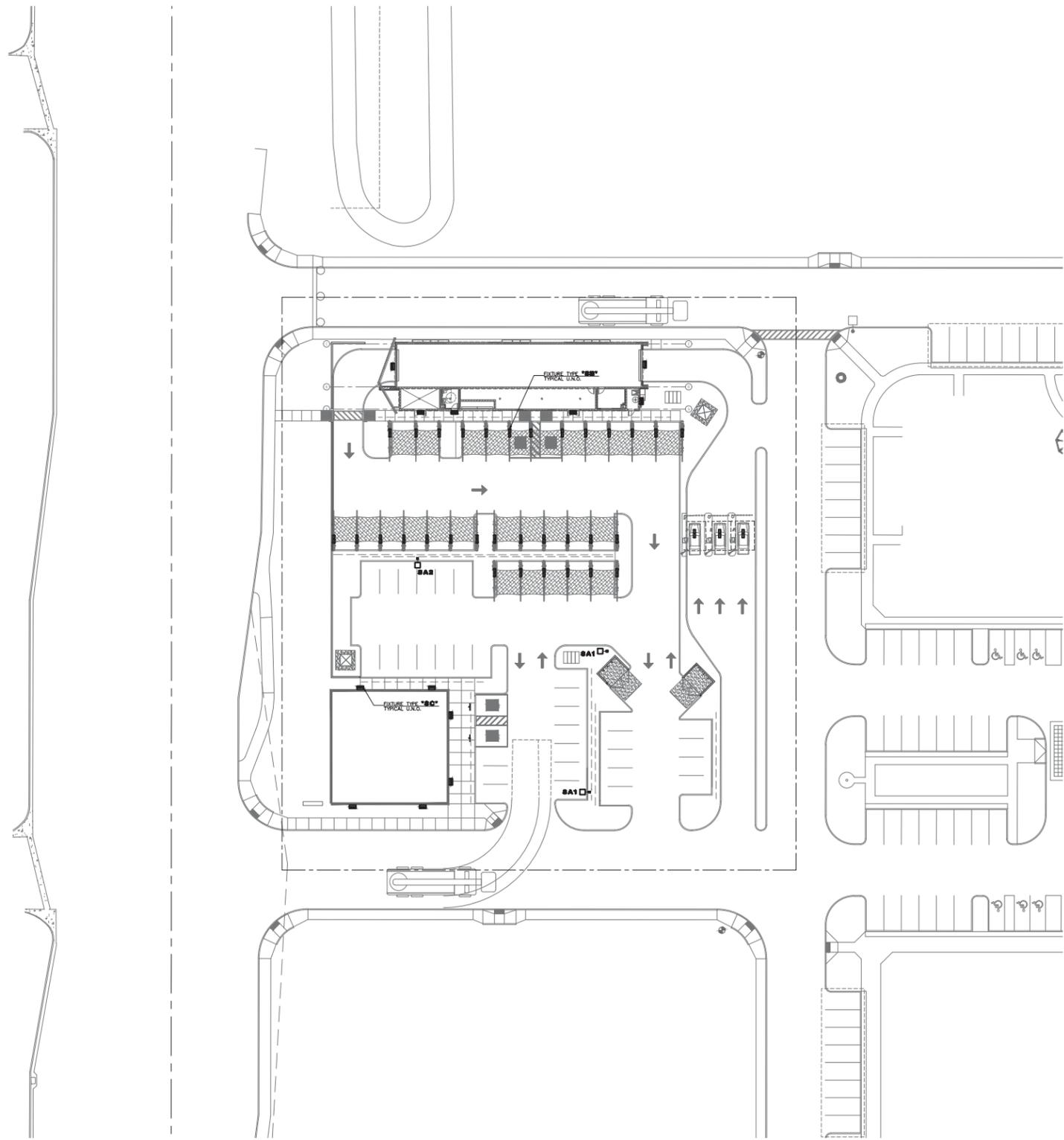
POLE MOUNTED FIXTURE DETAIL



FIXTURE TYPE 'SA1' AND 'SA2'

THE POLE CONCRETE BASE DETAIL IS SHOWN FOR ELECTRICAL ROUGH-IN AND SHALL NOT BE USED FOR THE ACTUAL BASE CONSTRUCTION. POLE BASE SHALL BE DESIGNED BY A REGISTERED STRUCTURAL PROFESSIONAL ENGINEER AND CONSTRUCTED PER STRUCTURAL ENGINEERS SEALED CONSTRUCTION DOCUMENT.

NOTE: ELECTRICAL CONTRACTOR SHALL BOND METAL POLE PER NEC 410.30(B)(5) AS SHOWN IN DETAIL.



ELECTRICAL SITE LIGHTING PLAN
 SCALE: 1/8" = 1'-0"



730 N. 52nd St. Ste. 203
 Phoenix, Arizona 85008
 P 602.393.5060

CawleyArchitects.com



SUPERSTAR CAR WASH

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 GILBERT, AZ 85297

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PRELIMINARY NOT FOR CONSTRUCTION

Project Contact/Designer: **STEVE FOSTER**
 Project # 183355
HAWKINS DESIGN GROUP INC.
 ELECTRICAL CONSULTING ENGINEERS
 252 SOUTH VINEYARD AVE. SUITE 107
 MESA, ARIZONA 85202
 PH 480.813.9000 FAX 480.813.9001
 EMAIL: estyf@hawkinsdg.com

All concepts, designs and data indicated on these drawings are the sole property of the Hawkins Design Group Inc., and shall not be used for any other purpose other than originally intended without written permission of the engineer.

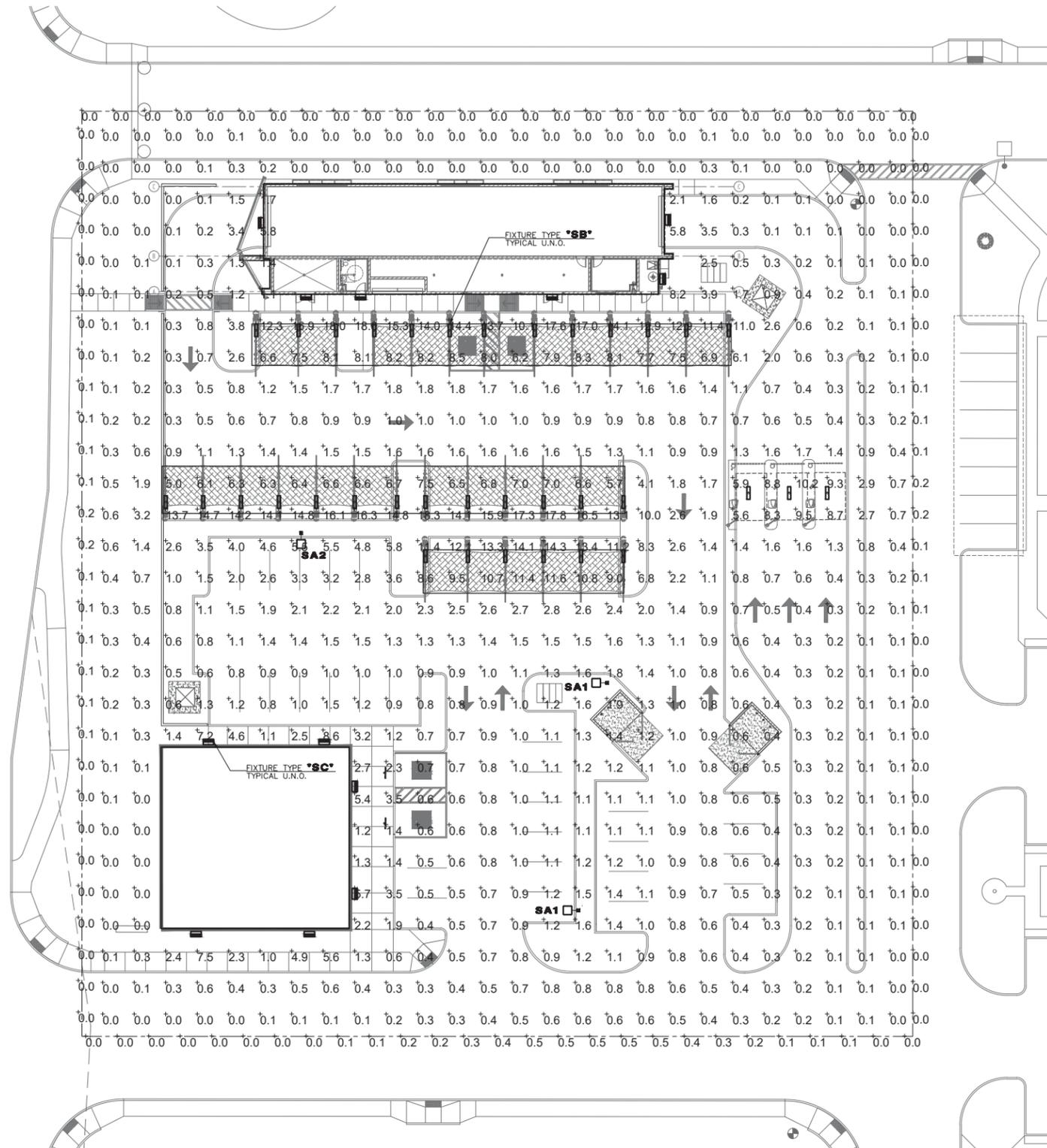
Project - SCW-GG

DR1.0

IF DRAWING IS NOT PLOTTED AT 24 X 36 THEY ARE NOT FULL SIZE

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FC ON SITE AT GRADE	+	2.2 fc	18.6 fc	0.0 fc	N/A	N/A
PROP LINE AT 3' AFG	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	SA1	2	Lithonia Lighting	DSX1 LED P2 40K T5W MVOLT/SSS 17.5' POLE ON 2.5' BASE	DSX1 LED P2 40K T5W MVOLT	LED	1	DSX1_LED_P2_40K_T5W_MVOLT.ies	9175	0.95	70
□	SA2	1	Lithonia Lighting	DSX1 LED P2 40K T4M MVOLT/SSS 17.5' POLE ON 2.5' BASE	DSX1 LED P2 40K T4M MVOLT	LED	1	DSX1_LED_P2_40K_T4M_MVOLT.ies	8707	0.95	70
—	SB	35	NORDEON	VK-4000LM-4000K-4FT-DF			1	VK-4000LM-4000K-4FT-DF.ies	3843	0.95	36.35
□	SC	12	Lithonia Lighting	WST LED P1 40K VW MVOLT (FINISH)	WST LED, Performance package 1, 4000 K, visual comfort wide, MVOLT	LED	1	WST_LED_P1_40K_VW_MVOLT.ies	1659	0.95	12



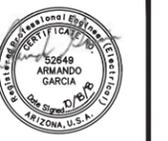
ELECTRICAL SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



CAWLEY ARCHITECTS

730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P 602.393.5060

CawleyArchitects.com



SUPERSTAR CAR WASH

1655 E. QUEEN CREEK ROAD
GILBERT, AZ 85297

DATE

PRELIMINARY SITE PLAN
06-28-2018
PRE-APP SUBMITTAL
07-09-2018
DR SUBMITTAL
10-17-2018

NOTICE OF ALTERNATE BILLING CYCLE:

This contract allows the owner to require submission of billings or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide this written description upon request.

The architectural design, conception and data presented herein represents an instrument of service provided in connection with the design build phased development agreement for the exclusive use of Cawley Architects. Any other use or release of these drawings may result in civil damages.

The site plan has been prepared without the benefit of a survey. Depictions may not be accurate or fully reflect all dimensions, data, etc. which may affect the design and usability of the site. All design shown here is strictly conceptual.

PRELIMINARY NOT FOR CONSTRUCTION

Project Contact/Designer: **STEVE FOSTER**
 Project # **183355**
HAWKINS DESIGN GROUP INC.
 ELECTRICAL CONSULTING ENGINEERS
 252 SOUTH VINEYARD AVE. SUITE 107
 MESA, ARIZONA 85207
 PH 480.813.9000 FAX 480.813.9001
 EMAIL: estf@hawkinsdg.com

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IF DRAWING IS NOT PLOTTED AT 24 X 36 THEY ARE NOT FULL SIZE

Project - SCW-GG

DR2.0

Pad Site Development Guidelines Val Vist & Queen Creek April 25, 2016



APPROVED

Design Review Board

DR16-03

Case # _____

Date _____

5/12/16

Subject to Conditions of Approval

APPROVED

Design Review Board

DR16-03

Case #

5/12/16

Date

Subject to Conditions of Approval

Project Team



SPECTRUM
RETIREMENT COMMUNITIES, LLC

OLSSON[®]
ASSOCIATES

GastingerWalker&

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I. Project Overview

A. Architectural Design Review

1. General Scope: Prior to commencing any work, Applicant shall engage a Registered Architect and/or Registered Consulting Engineers to design and produce the necessary and applicable documents/drawings for review by the Master Developer before any submission to the Town of Gilbert (the "Town"). The Master Developer shall conduct a review of the Applicant's documents/drawings in 2 phases: preliminary design review and final construction document review.
 - a. Preliminary Design Review: Applicant must provide, at a minimum, electronic drawings of the following: civil site plan showing proposed improvements including topography, site amenities, buildings, utilities, site lighting, signage, drives, and parking; landscape plan showing proposed landscape; building floor plans and exterior elevations (4-sided architecture) and any proposed signage elevations; and proposed colors and materials. Include colored elevations and one main 3D view. Reviews shall be complete within 15 days of confirmation of receipt of Applicant's documents/drawings by the Master Developer. Submit prior to closing on the land.
 - b. Construction Document Review: Provide an electronic copy of the construction document(s) set including all consultant drawings and specifications before submission to the Town. The design at construction document review must be substantially the same as was approved by the Master Developer for the Preliminary Design Review. Reviews shall be complete within 15 days from of confirmation of receipt of Applicant's documents/drawings by the Master Developer. Approval by the Master Developer of the construction document(s) is required prior to construction start.
 - c. Any design changes desired by Applicant after Master Developer approval must be reviewed by the Master Developer before submission to the Town and/or commencement of construction.
 - d. Any deviation to the approved ordinances, zoning and stipulations will need to be approved through the standard procedures by the Town of Gilbert.
 - e. Approval will not be unreasonably withheld, conditioned, or delayed. The approval required of the Architectural Review Committee shall be in addition to, and not in lieu of, any approvals or permits that may be required under any federal, state or local law, statute, ordinance, rule or regulation.
 - f. Deviation from these guidelines is not allowed unless otherwise approved by the Master Developer in writing.
 - g. Subsequent approval shall meet DR16-03 approval and/or the intent of this Design Guidelines document for colors, materials and architectural styles.
2. The developer reserves the right to evaluate specific items not addressed by these criteria if those items impact the function or overall appearance of the project.
3. Local government rules and regulations shall govern if in conflict with these criteria.



II. Site Plan

- A. Master Site Plan The site plan for this project is set up as a mixed use development. The site is made up of commercial uses along Val Vista and Queen Creek allowing for pad and small multitenant users to benefit from the traffic and exposure of those arterials. Southeast of the commercial uses will be a proposed congregate care facility providing assisted, independent, and memory care. Further buffering the single family residents to the south and east are congregate care casitas serving as an option for residents who might not require living in the full congregate care facility but want to have some of the benefits.

The site plan will provide for contiguous pedestrian paths throughout the site connecting the neighborhood and school to the west into the project and through it. The site will have standard driveway spacing meeting Gilbert requirements to the surrounding streets and each entrance will include a decorative paving feature.

The site has a mix of straight and curvilinear drives throughout providing a more interesting experience for pedestrians and automobiles.

See attached overall development plan Exhibit A

- B. Internal Driveway Cross Sections: Driveway locations are determined by standard Gilbert required separation distances and existing adjacent access locations. The driveways will typically be crowned drives with landscaping or parking on either side. Public water and private sewer lines will generally be located within the loop roads.

See Exhibit B for Cross Section Detail.

C. Project Screening

1. Site Walls to be stucco with stone veneers pillars as shown in Exhibit C. Parking screen walls to be between 3 and 4 feet tall with the exact height per the direction of the city.
2. Areas to be screened include loading areas, parking, private open spaces, trash enclosures and ground mounted equipment.
3. Trash enclosure walls to be 6 feet tall unless required to be taller by the Town. They shall be screened to reasonably hide them from the public way and within the development.
4. Back of house or loading dock functions should be screened from public right-of ways.
5. See Exhibit C for Screening Details.

D. Parking Locations and Design Canopies

1. Large scale parking areas should be located away from the arterials streets. Parking, drive lanes and loading zones are not allowed within required landscape setbacks.



III. Landscape

- A. Project entry feature and details. The project will generally have two entrance types, major and minor. The major entrance will have slightly more landscaping and normally have a sign incorporated into the entrance. The minor entry drive will have slightly less landscaping, but will maintain a level of design to compliment the site and provide users with a sense of entry at the project.

See Exhibit D for major and minor entry features.

- B. Project entry drives cross section. The cross section at the drive entry will generally be the same between minor and major entrances with the only difference being the level of landscape materials.

See Exhibit E

- C. Project Plant Palette: The landscape design shall incorporate plants from the below Plant Palette.

PLANT PALETTE:

Trees:

Acacia salicina	Willow Acacia
Acacia smallii	Sweet Acacia
Caesalpinia mexicana	Mexican Bird of Paradise
Chitalpa 'Pink Dawn'	Pink Dawn Chitalpa
Dalbergia sissoo	Sissoo
Prosopis 'AZT' thornless	Thornless Mesquite
Quercus virginiana 'Heritage'	Heritage Live Oak
Sophora secundiflora	Silver Texas Mountain Laurel

Palm trees:

Phoenix dactylifera	Date Palm
Washintonia	Fan Palm

Shrubs:

Bougainvillea 'Torch Glow'	Torch Glow Bush Bougainvillea
Dodonaea viscosa 'Purpurea'	Purple Leaf Hopseed Bush
Eremophila maculate 'Valentine'	Valentine Bush
Euphorbia biglandulosa	Gopher Plant
Hibiscus	Pink Hibiscus
Justicia spicigera	Mexican Honeysuckle
Leucophyllum langmaniae 'Rio Bravo'	Rio Bravo Sage
Leucophyllum zygophyllum 'Cimarron'	Cimarron Sage
Ruellia penninsularis	Desert Ruellia
Russelia equisetiformis	Firecracker Plant
Tecoma stans	Sparklette
Tecoma 'Orange Jubilee'	Orange Jubilee

Accents:

Agave geminiflora	Century Plant
Dasyllirion longissimum	Toothless Desert Spoon
Dietes bicolor	Butterfly Iris
Hesperaloe	Hesperaloe



Pedilanthus macrocarpus
Yucca

Ladyslipper
Yucca

Groundcovers:

Chrysactinia Mexicana
Eremophila glabra 'Mingenew Gold'
Lantana

Damianitia
Emu
Lantana

- D. Hardscape and non-vegetative ground cover needs to be in substantial conformance with the attached site plan. Use of specialty pavement at all internal sidewalks and crossings (except as mandated by the ADA) per the approved pattern noted on the site plan.

Decomposed Granite

Express Gold ½" screened
Rip Rap – Express Gold 2"-4"

- E. Site amenities - See Exhibit F for approved site amenities.

IV. Building Architecture

A. Massing

1. The mass of the building should respect and respond to the surrounding buildings. Varied roof lines and footprints shall be utilized to break up the façade to respond to the adjacent residential neighbors.
2. Provide horizontal and vertical building breaks of at least 2 feet at reasonable intervals.

B. Scale and Context

3. Building(s) should be appropriate scale for the site and its surroundings. It should complement the other buildings. Consideration should be given to how the building relates in features to the surrounding buildings.

C. Exterior Façade

1. The primary veneer of exterior walls shall be a combination of stucco and stone veneer.
2. Building design should be four sided design.
3. A maximum of 6 inches of exposed foundation allowed.
4. Accent materials may be used such as architectural metal, brick, stained wood and may be used.
5. Highly reflective materials are not allowed.
6. The roof shall either be a flat roof, concealed by a parapet, or a low sloping clay or concrete tile.
7. Accessory structures, such as carports, may be a flat metal roof.
8. Retail entries to be pedestrian-scaled with an architecturally integrated cover.
9. Arcades, significant overhangs, awnings and other integral shade elements are highly encourage.
10. Building entrances should be prominent and easily identifiable and well lit.



- D. Color and Material Selection
 - 1. Colors and materials should be complementary to the existing buildings on site.
 - 2. See Exhibit G for a materials and color palette.
- E. Roof Mounted Equipment
 - 1. Mechanical Equipment shall be fully screened at the ground level. This includes utility meters and associated piping, trash compactors, transformers, ground installed equipment, service areas and grease interceptors.
 - 2. External roof access equipment is not allowed.
 - 3. Rooftop equipment shall be fully screened from adjacent properties and the public way by parapet walls or sloped roof elements. Roof mounted equipment shall not be visible.
 - 4. Roof mounted equipment is not allowed on pitched roofs.
- F. Carports
 - 1. See Exhibit J for Carport Design
- V. Site Lighting – Exhibit H
 - A. Parking Lot Lighting
 - 1. Pole lighting to be Spaulding Cimarron LED CL1S Dark Bronze– See attached cut sheet.
 - 2. Pole and mounting shall be 16'-0" square straight steel pole, 6" above finished graded concrete base with overall mounting height of 16'-6". Dark Bronze
 - 3. Any canopy lighting shall be Lithonia LED Canopy Light. Catalog number DSXSC LED.
 - 4. If flag pole or up lighting is required Lithonia LED round ground mounted flag pole light catalog number OLBF shall be used.
 - 5. Each site will be responsible for lighting the adjacent ½ of their internal loop roads.
 - B. Pedestrian Lighting
 - 1. Sufficient lighting for the project will be provided by the parking lot lighting.
 - C. Building Lighting – Provide building lighting that is complimentary to the building architecture. Examples of approved building light are found in Exhibit H. Other fixtures approved at the discretion of the town of Gilbert and Developer.
- VI. Signage – Refer to the Comprehensive Sign Plan (Not included in this document).

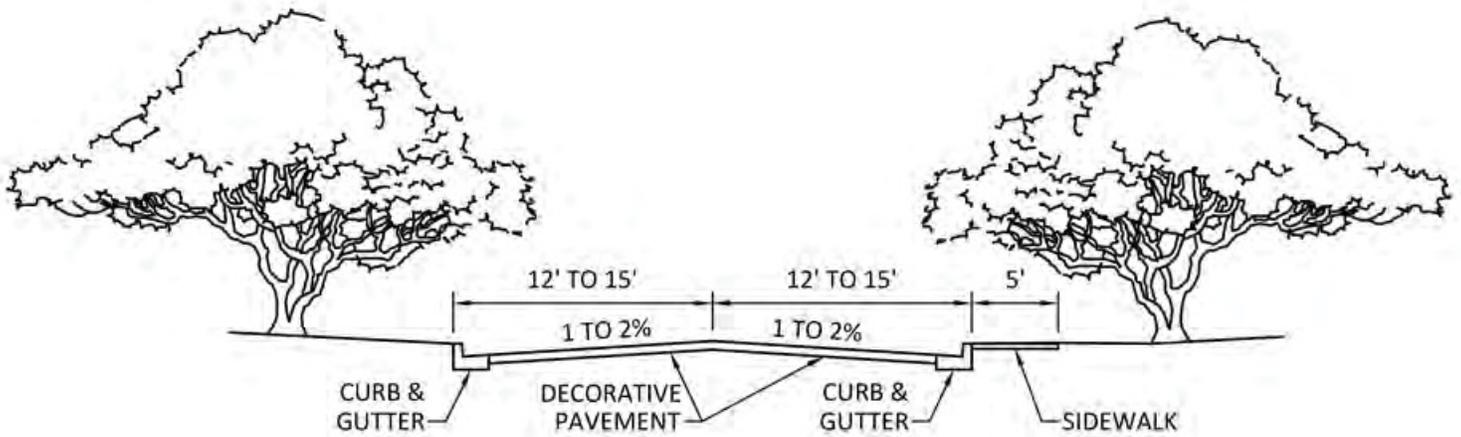


Exhibit A
Master Site Plan

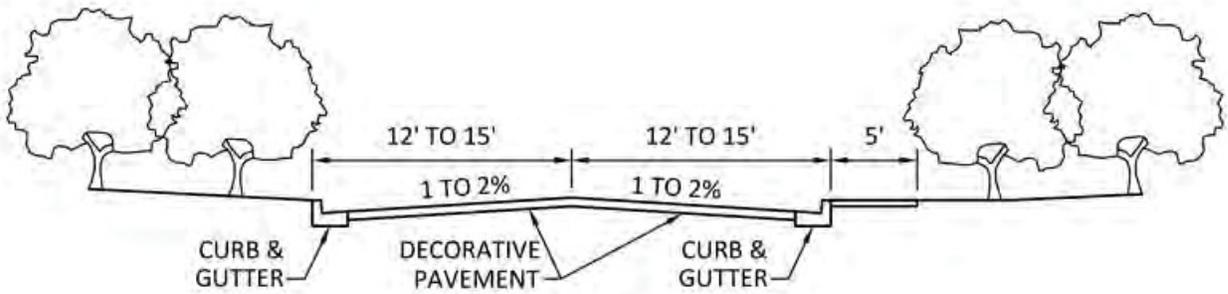


Exhibit B
Internal Driveway





MAJOR



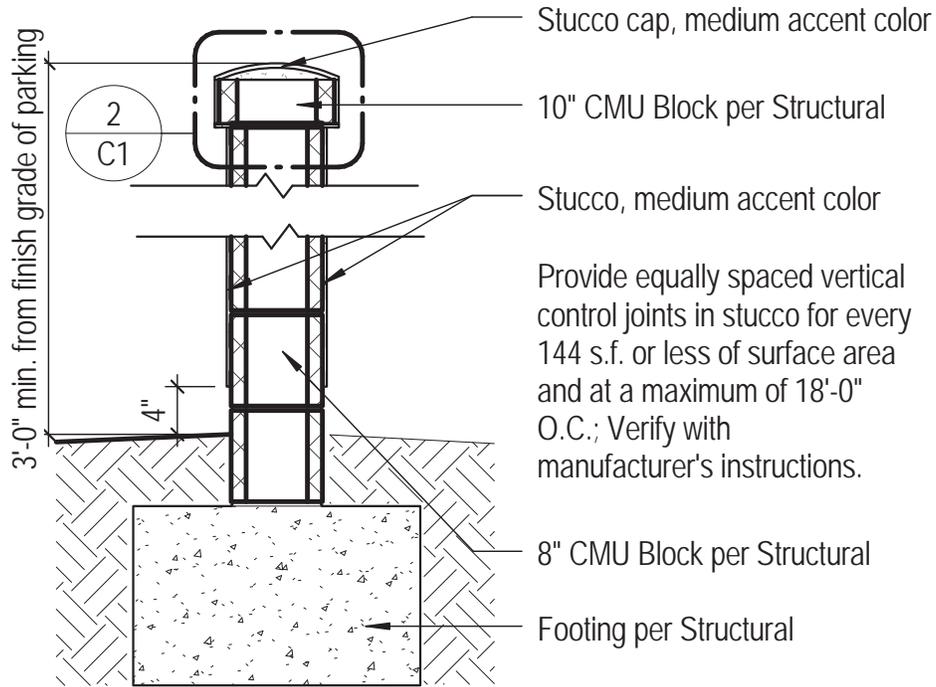
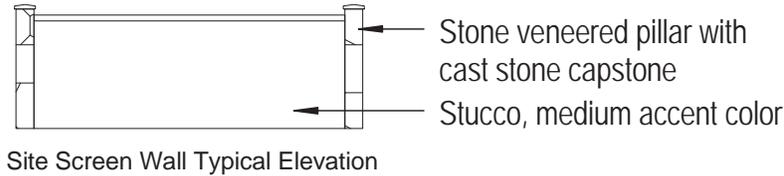
MINOR

ENTRY DRIVES CROSS SECTION

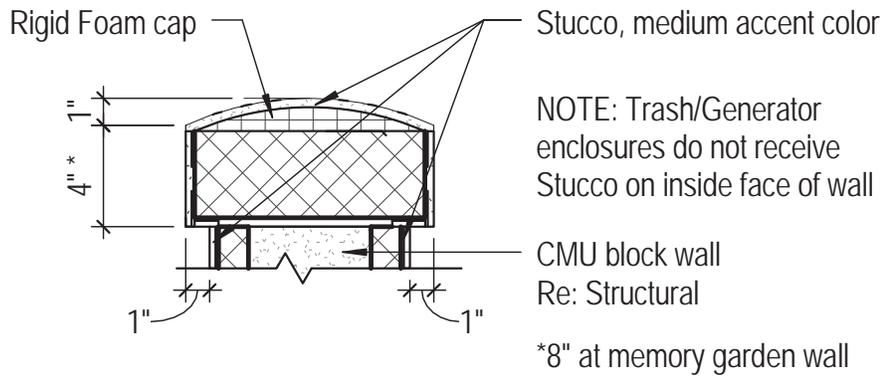
SCALE: NTS

Exhibit C
Screening





1	Elevation/Section at Screen Wall
	3/4" = 1'-0"

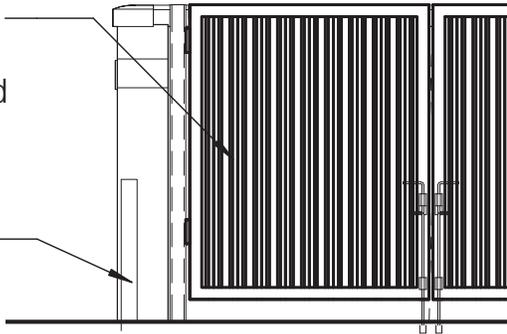


2	Detail at Wall Cap
C1	1 1/2" = 1'-0"

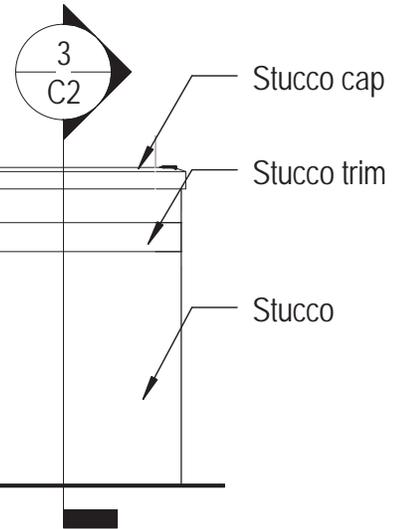


Metal gate, solid, painted to match fascia color, typical

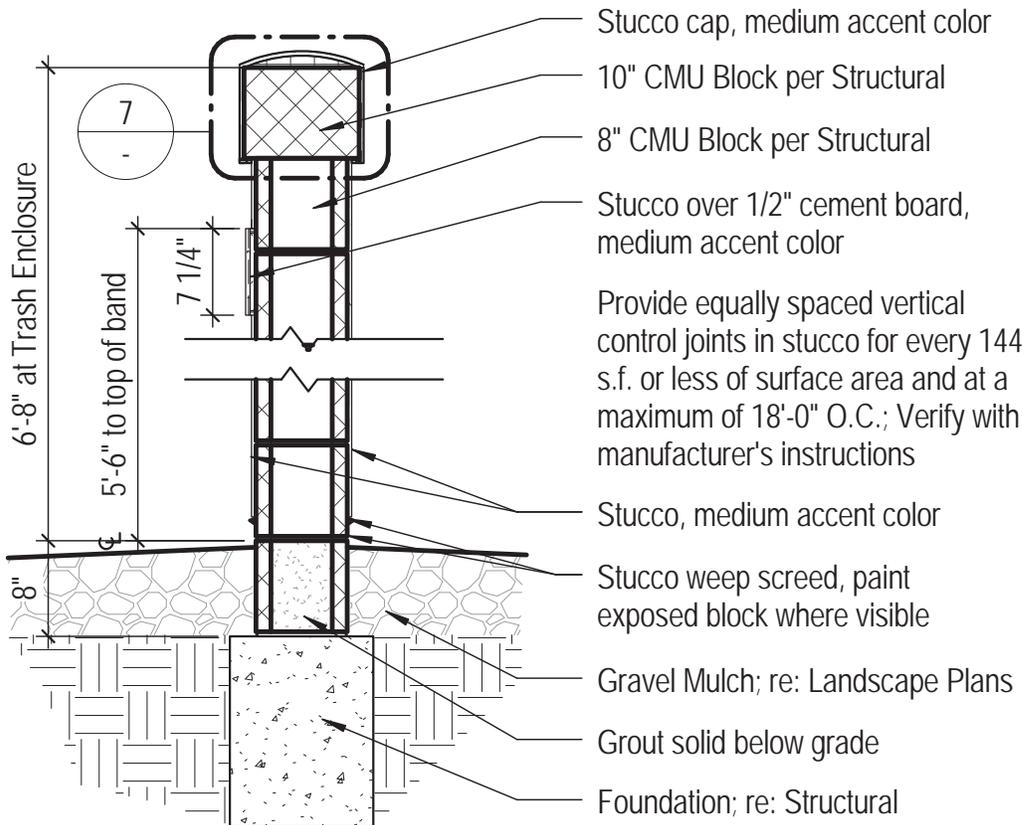
Steel bollard painted to match medium accent color, embedded in concrete



1	Elevation at Trash Walls
30.01	1/4" = 1'-0"



2	Elevation - Trash Enclosure
30.01	1/4" = 1'-0"

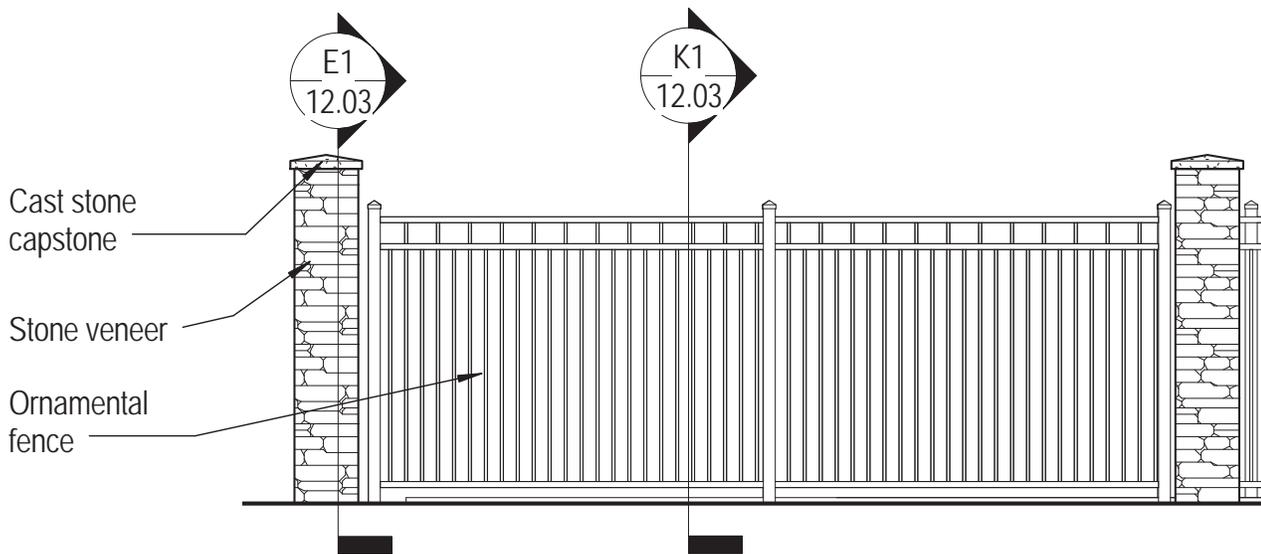


3	Section at Trash Wall
	3/4" = 1'-0"

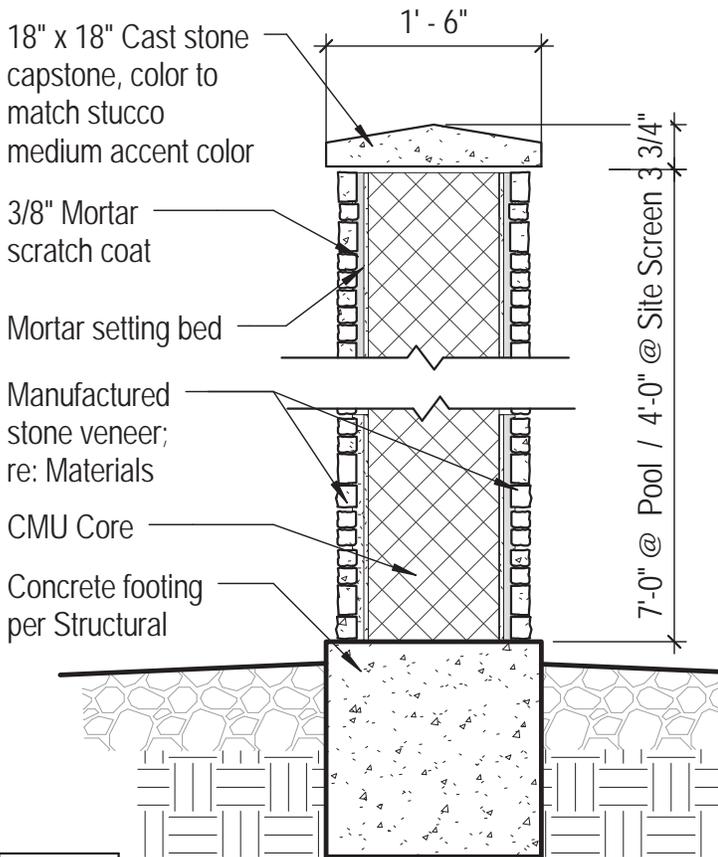


The Enclave at Gilbert Senior Living
 Spectrum Retirement
Exhibit C2 Screening

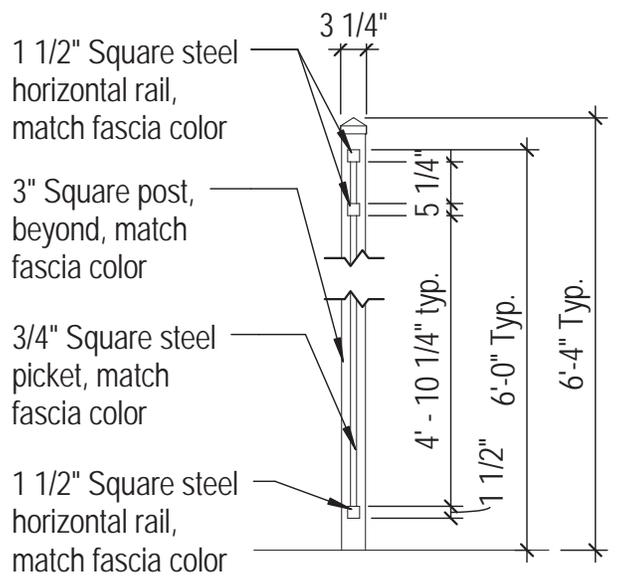
25 April 2016



1	Elevation - Fence
---	1/4" = 1'-0"



2	Section at Pillar Typical
	3/4" = 1'-0"



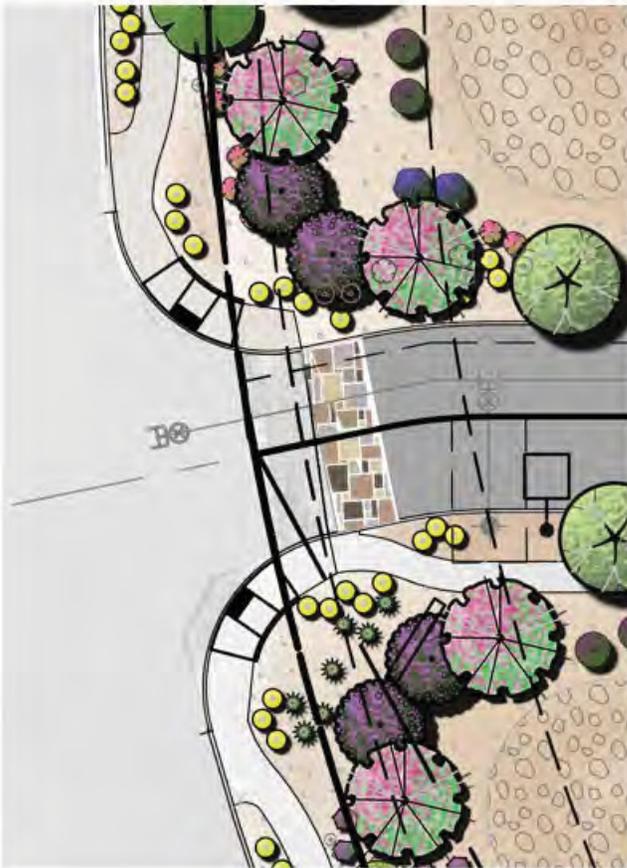
3	Section at Fence
	1/2" = 1'-0"



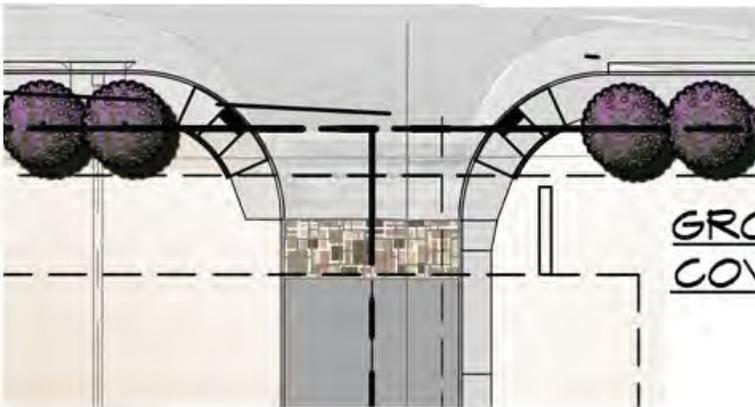
Exhibit D
Project Entry Features



PLANT LEGEND



TYPICAL MAJOR ENTRY FEATURE
SCALE: NTS



TYPICAL MINOR ENTRY FEATURE
SCALE: NTS

TREES

BOTANICAL NAME COMMON NAME

- 
 Acacia smallii
Sweet Acacia
- 
 Acacia salicina
Willow Acacia
- 
 Chitalpa 'Pink Dawn'
Pink Dawn chitalpa
- 
 Sophora secundiflora
Silver Tx Mountain Laurel

ACCENTS

BOTANICAL NAME COMMON NAME

- 
 Agave geminiflora
Century Plant
- 
 Dasylirion longissimum
Toothless Desert Spoon
- 
 Hesperaloe parviflora
'Brakelights' Hesperaloe
- 
 Yucca recurvifolia
Soft Leaf Yucca

GROUND COVERS

BOTANICAL NAME COMMON NAME

- 
 Chrysactinia mexicana
Damianita
- 
 Lantana montevidensis
Trailing Lantana
- 
 Lantana x 'New Gold'
New Gold Lantana

Exhibit E
Entry Drives



Cross-Sections to be revised and provided to and approved by the Planning Department prior to construction documents

Exhibit F
Site Ammenities





6' Bench with Back
 Manufacturer: Keystone Ridge
 Model: Reading
 Color: Copper Vein



32 Gallon Trash Receptacle
 Manufacturer: Keystone Ridge
 Model: Reading
 Color: Copper Vein



Water Fountain - 3 Vase
 Manufacturer: Aqua Bella
 Model: Tuscany
 Color: Hand Selected by Owner Rep



Bike Rack
 Manufacturer: Keystone Ridge
 Model: Reading
 Color: Copper Vein

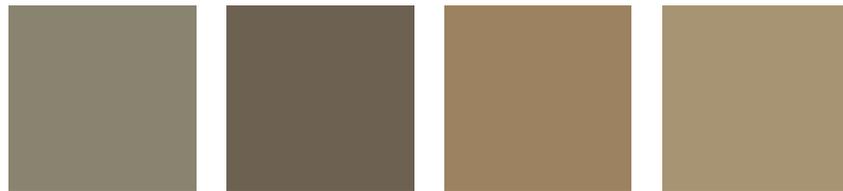


Planter Pots
 Manufacturer: Kornegay Design LLC
 Model: Mex Bold
 Color: Davis Integral Color 'Taupe'

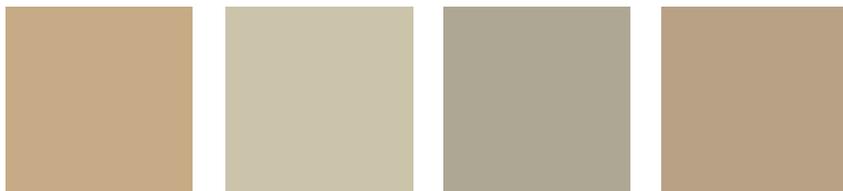
Exhibit G
Color and Material



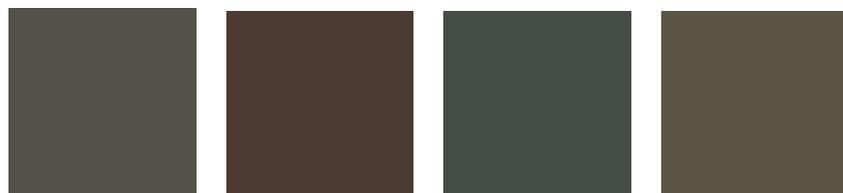
Color Palette (Sherwin Williams colors, typical)



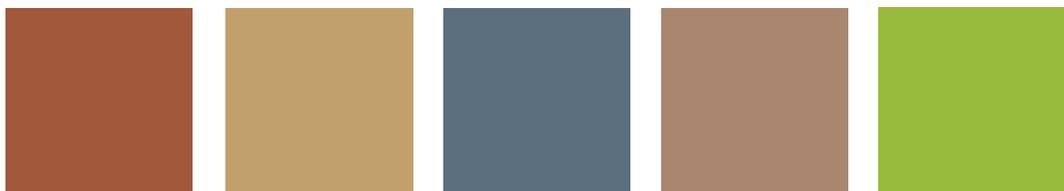
SW6172 Hardware SW7515 Homestead Brown SW6109 Hopsack SW7731 San Antonio Sage



SW6122 Camelback SW7738 Cargo Pants SW7052 Gray Area SW6108 Latte



SW7048 Urbane Bronze SW6076 Turkish Coffee SW7062 Rock Bottom SW7745 Muddled Basil

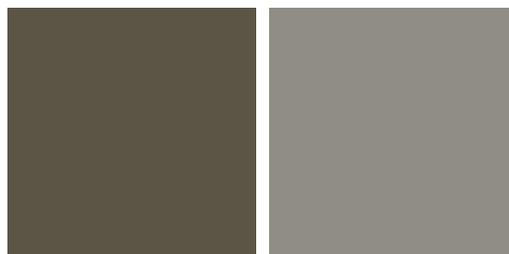


SW6349 Pennywise SW0012 Empire Gold SW6243 Distance SW7715 Pottery Urn SW6921 Electric Lime

Materials



Stone Veneer
 - Boral, Cultured Stone, Southern Ledgestone, Chardonnay
 - Boral, Cultured Stone, Southern Ledgestone, Echo Ridge



Metal Roof
 - Kynar 500 Medium Bronze
 - Kynar 500 Slate Gray



Anodized Aluminum - clear

Exhibit H
Lighting



CIMARRON LED

Cat.#

Job

Type



Approvals

SPECIFICATIONS

Construction:

- Stylish vertically finned die-cast solid top housing for maximum heat dissipation; Stops collection of unsightly debris from gathering on top of the housing
- Rugged lower die-cast aluminum heat sink accelerates thermal management and optimizes PCB and optical performance
- Separate optical and electrical compartment for optimum component operation
- One piece die cut silicone gasket ensures weather proof seal around each individual LED for IP65 rating
- Backlight Control (BC) option available for 85% spill light reduction, doesn't change fixture appearance or EPA, recommended for Type III and Type IV distributions
- Stamped bezel provides mechanical compression to seal the optical assembly
- Complements the Hubbell Southwest series of outdoor fixtures
- Weight - 45.0 pounds, EPA - 1.3 ft²
- Suitable for applications requiring 3G testing prescribed by ANSI C136.31

Optics:

- Choice of 72 high brightness LED configurations with individual acrylic lenses specially designed for IES Type II, III, IV and V distributions
- Auto optics designed for front row 1A and interior rows 2A (see distribution under ordering and page 2)
- CCT: 3000K (80 CRI), 4000K (70 CRI), 5000K (70 CRI), and turtle friendly Amber LED options

Electrical:

- Universal input voltage 120-277 VAC, 50/60 Hz
- Integral step-down transformer for 347V & 480V
- Ambient operating temperature -40° C to 40° C
- Automatic thermal self-protection
- Drivers have greater than 90% power factor and less than 10% THD
- Optional continuous dimming to 10% or dual circuitry available

- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- 1050 mA driver available with 90L configuration for increased lumen output
- LED electrical assembly, including PR devices, consumes no power in the 'off' state
- Surge protection – 20KA; Turns fixture off at end of life; Includes LED for end of life indication (see surge suppressor page 4)

Controls:

- Drivers are 0-10V dimming standard. Photocell, occupancy sensor and wireless controls available for complete on/off and dimming control

Lumen maintenance:

- L90 at 60,000 hours (Projected per IESNA TM-21-11)

Installation:

- Two die-cast aluminum arm designs: The decorative arm offers a sleek upswept look while the straight arm follows the housing's contoured lines for continuity of style
- Fixture ships with arm installed for ease of installation and mounts to #2 drill pattern
- Wall bracket, mast arm fitter and pole accessories are also available allowing easy mounting for virtually any application

Finish:

- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

Warranty:

Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

Listings:

- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations
- Models meet DesignLights Consortium (DLC) qualifications, consult DLC website for more details: <http://www.designlights.org/QPL>
- IDA approved • IP65

PRODUCT IMAGE(S)



90 LED 3/4 VIEW



30 LED

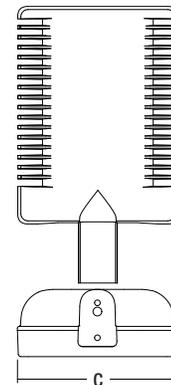
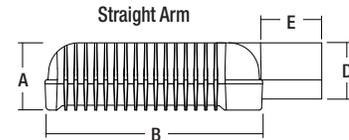
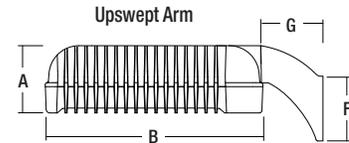


60 LED



90 LED

DIMENSIONS



A	B	C	D	E	F	G
6 3/4"	21 3/4"	16"	6 5/8"	6 5/16"	5 5/8"	6 1/8"
171mm	552mm	406mm	168mm	160mm	143mm	155mm

CERTIFICATIONS/LISTINGS



ORDERING INFORMATION SEE NEXT PAGE



Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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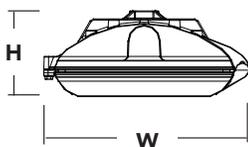
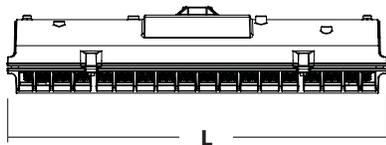
D-Series LED Surface Canopy



d#series

Specifications

Length:	17-3/4" (45.1 cm)
Width:	8-1/2" (21.6 cm)
Height:	3-7/16" (8.7 cm)
Weight (max):	16 lbs (7.3 kg)



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The D-Series LED Surface Canopy luminaire is ideal for covered walkways or drive-thrus, semi-covered outdoor aisles, and walk-in coolers and freezers. Its five optical choices provide the design flexibility to potentially reduce luminaire counts while still meeting IES criteria, lowering overall energy consumption.

Its expected service life of over 100,000 hours (20 years of nighttime operation) combined with the available motion/ambient sensor offers an extremely low maintenance solution that yields quick payback.

Ordering Information

EXAMPLE: DSXSC LED 20C 700 40K T5M MVOLT SRM DWHXD

DSXSC LED	Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
DSXSC LED	10C	10 LEDs (one engine) ^{1,2}	350 350 mA	30K 3000 K	T5E Type V, entryway ⁴	MVOLT ⁵ 277 ⁵	Shipped included SRM Surface mount (12-inch length supply leads)
	20C	20 LEDs (two engines)	530 530 mA	40K 4000 K	T5M Type V, medium	120 ⁵ 347 ⁶	
	30C	30 LEDs (three engines)	700 700 mA	50K 5000 K	T5W Type V, wide	208 ⁵ 480 ⁶	
			1000 1000 mA (1 A)	AMBPC Amber phosphor converted ³	T5R Type V, rectangular	240 ⁵	
				ASY Asymmetric			

Options	Finish (required)
<p>Shipped installed</p> <p>HS House-side shield (housing visor)⁷</p> <p>SF Single fuse (120, 277, 347V)^{8,9}</p> <p>DF Double fuse (208, 240, 480V)^{8,9}</p> <p>SPD Separate surge protection¹⁰</p> <p>CFMH Cover finish matches housing¹¹</p> <p>PIR Motion/ambient sensor for 8-15' mounting heights¹²</p> <p>PIRH Motion/ambient sensor for 15-30' mounting heights¹²</p> <p>PIR3FC3V Motion/ambient sensor for 8-15' mounting heights and for typical applications requiring daylight harvesting and Title 24 compliance¹²</p>	<p>Shipped separately</p> <p>BDS Bird shroud⁷</p> <p>PIRH3FC3V Motion/ambient sensor for 15-30' mounting heights and typical applications requiring daylight harvesting and Title 24 compliance¹²</p> <p>XAD XPoint™ Wireless enabled¹³</p> <p>XADN XPoint™ Wireless enabled for emergency circuit¹³</p> <p>XAD PIR XPoint™ Wireless enabled motion/ambient sensor for 8-15' mounting heights^{13,14}</p> <p>XAD PIRH XPoint™ Wireless enabled motion/ambient sensor for 15-30' mounting heights^{13,14}</p> <p>XADN PIR XPoint™ Wireless enabled motion/ambient sensor for emergency circuits for 8-15' mounting heights^{13,14}</p> <p>XADN PIRH XPoint™ Wireless enabled motion/ambient sensor for emergency circuits for 15-30' mounting heights^{13,14}</p> <p>DWHXD White</p> <p>DNAXD Natural aluminum</p> <p>DDBXD Dark bronze</p>

Accessories

Ordered and shipped separately.

DSXSCHS U	House-side shield (1 per light engine)
DSXS CBDSSJ DWHXD U	Bird shroud for SRM on surface J-box only, white (specify finish)

NOTES

- Available with 700mA or 1000mA option only.
- Not available with 347 or 480V.
- AMBPC only available with 530mA or 700mA.
- DesignLights Consortium qualified.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- N/A with one light engine (10C). Only available with 700mA or 1000mA.
- Also available as a separate accessory; see Accessories information at left.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Not available with XAD.

- See the electrical section on page 3 for more details.
- Available with DNAXD or DDBXD only.
- PIR & PIR3FC3V specifies the Acuity Controls **SBOR 10 ODP** motion/ambient sensor, the PIRH & PIRH3FC3V specifies the Acuity Controls **SBOR 6 ODP** motion/ambient sensor.
- Dimming driver standard. Not available with 347V or 480V. Not available with fusing.
- XAD PIR specifies the Acuity Controls **XPA SBOR10** wireless controller, the XADN PIR specifies the Acuity Controls **XPA SBOR10** wireless controller, the XAD PIRH specifies the Acuity Controls **XPA SBOR6** wireless controller, and the XADN PIRH specifies the **XPA SBOR6** wireless controller.



FEATURES & SPECIFICATIONS

INTENDED USE

The OLB LED Bullet Floodlight is a long-lasting energy-efficient landscape flood light. Available with spot or flood optics making it ideal for many commercial and residential outdoor applications such as lighting of landscapes, building details and flag poles.

CONSTRUCTION

Die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. The LED driver is mounted in the lower housing promoting a low operating temperature and long life. Housing is sealed against moisture and environmental contaminants (IP65).

Finish: Exterior parts are protected by a thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS

Optics are engineered for superior field-to-beam ratios, uniformity and spacing. Available with 5H x 4V flood optics for illuminating larger objects or 2H x 2V spot optics for illuminating targets up to 50 feet away. Light engines are available in 3000K (80 CRI min.) or 5000K (66 CRI min.) configurations.

ELECTRICAL

MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).

Light engine consists of four (4) discrete LEDs directly mounted directly to the heat sink to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L82).

Driver is thermally isolated in base to promote long-life.

Operating temperature -30°C to 40°C.

INSTALLATION

Integral adjustable knuckle with 1/2-14 NPS threaded pipe facilitates quick and easy installation in a variety of mounting methods.

LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations within four feet of the ground.

Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY

5-year limited warranty. Complete warranty terms located at

www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

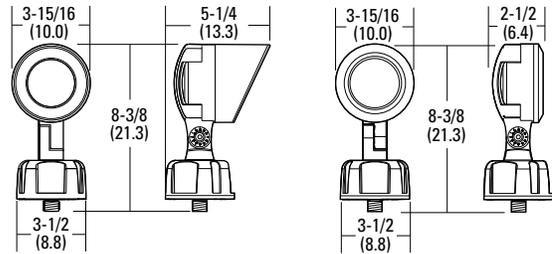
Actual performance may differ as a result of end-user environment and application.

Note: Specifications subject to change without notice.

Catalog Number
Notes
Type

OLB

LED Bullet Flood Light



All dimensions are inches (centimeters) unless otherwise indicated.

ORDERING INFORMATION

For shortest lead times, configure product using **bolded options**.

Example: OLB 8 30K DDB

Series	Light engine	Color temperature (CCT)	Voltage	Finish
OLBF 5x4 flood optics	8	30K 3000K	(blank) MVOLT	DDB Dark bronze
OLBS 2x2 spot optics		50K 5000K		

Recessed wall luminaire

Housing: Constructed of die cast and extruded aluminum with integral wiring compartment. Mounting tabs provided. Die castings are marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy.

Enclosure: One piece die cast aluminum faceplate, 1/8" thick. Clear tempered glass with translucent white ceramic coating. Faceplate is secured by two (2) socket head, stainless steel, captive screws threaded into stainless steel inserts in the housing casting. Continuous high temperature O-ring gasket for weather tight operation.

Electrical: 10.1 W LED luminaire, 11.3 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0 - 10V dimming. The LED and driver are mounted on a removable plate for easy replacement. Standard LED color temperature is 3000K (available in 4000K; add suffix K4). Provided with 1/2" NPT threaded conduit entries.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

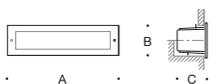
Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. These luminaires are available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed for US and Canadian Standards, suitable for wet locations and for installation within 3 feet of ground. Type non-IC. Protection class: IP64.

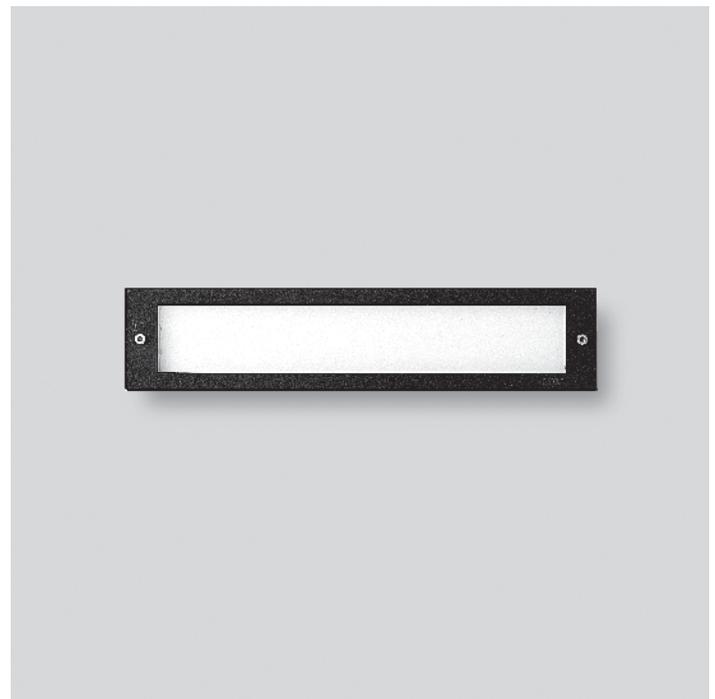
Luminaire Lumens: 96

Tested in accordance with LM-79-08

Type: V
 BEGA Product #:
 Project: Spectrum Projects
 Voltage:
 Color: Black
 Options:
 Modified:



Lamps		A	B	C
2192LED	ADA 9W LED	11¾	2½	4¼



6" ROUND LED DOWNLIGHT

L60

LED



CATALOG #:

TYPE:

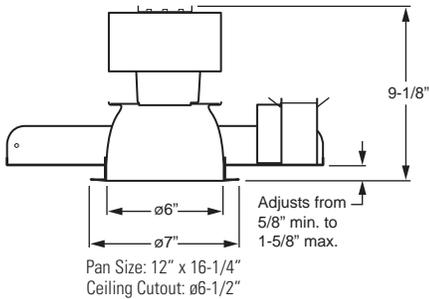
PROJECT:
Spectrum Projects

NOTES:

EXAMPLE → **L60** - **L15/840** - **CS** - **OPTIONS** - **DIM** - **120**

SERIES LUMEN PACKAGE CRI & CCT REFLECTOR FINISH OPTIONS DRIVER VOLTAGE

CROSS SECTION



ORDERING INFORMATION

SERIES
L60 6" Round LED Downlight

Example: L15/835			
LUMEN PACKAGE	NOMINAL LUMENS	MINIMUM CRI & CCT	AVERAGE SYSTEM WATTAGE
L11	1,100	827 = 80 CRI, 2700K	17
L15	1,500	830 = 80 CRI, 3000K	20
L20	2,000	835 = 80 CRI, 3500K	27
L30	3,000	840 = 80 CRI, 4000K	39

Nominal lumens based on 3500K CCT, actual lumens may vary.

REFLECTOR FINISH (Must specify)

CS	Clear semi-specular (standard)
CG	Champagne gold
GD	Gold
PW	Pewter
SG	Satin-glow
SPC	Clear specular
STR	Straw
WH	Painted white reflector, textured (cannot be used with AC/CAL or MB/CAL)
WT	Wheat

OPTIONS

EM/7W	7-watt emergency driver (maximum 500 lumens module output in EM mode)
MWT	Matte white trim
AC/CAL	Accent cone with clear acrylic lens
MB/CAL	Micro-baffle with clear acrylic lens
LAD	Acrylic luminous disk (CS reflector only)
LADO	Acrylic luminous disk open (CS reflector only)
LAR	Acrylic luminous ring (CS reflector only)

DRIVER

Additional dimming drivers available, [see Information Section](#).

DRV	Driver prewired for non-dimming applications
DIM	Driver prewired for 0-10V low voltage dimming applications

VOLTAGE (Must specify)

120	120V
277	277V

FEATURES

- ▶ Rated for 50,000 hours at 70% lumen maintenance (L70).
- ▶ 1100-, 1500-, 2000-, or 3000-lumen module.
- ▶ 2700K, 3000K, 3500K, or 4000K color temperatures.
- ▶ LED module and driver accessible from below ceiling plane for ease of maintenance.
- ▶ 0–10V dimming down to 10% light output available.
- ▶ Optional system-integrated emergency LED driver available.
- ▶ Optional wet location under covered ceiling available when specified with AC/CAL or MB/CAL option.
- ▶ Finned, extruded aluminum, passive heat sink dissipates heat for superior thermal management.
- ▶ Integral pan throat field-adjusts to accommodate ceilings up to 1-5/8" thick.
- ▶ Self-flanged aluminum reflector offers maximum optical performance and provides crisp, clean installation without unsightly light leaks.
- ▶ Adjustable hanger brackets with bar hangers standard.
- ▶ Sturdy one-piece pan construction.
- ▶ This fixture is proudly made in the USA.



DESCRIPTION

The Entri LED luminaire features a classic and stylish design with the added benefits of solid state lighting technology, offering outstanding uniformity and energy savings. Using Eaton's proprietary LED LightBAR™ technology and AccuLED Optics™ system, the Entri LED luminaire offers designers vast versatility in system design, function and performance. Use Entri LED for wall mount architectural lighting applications and egress lighting requirements. UL/cUL listed for use in wet locations.

Catalog #		Type
Project	Spectrum Projects	Q
Comments	Exterior Egress Doors	Date
Prepared by		

SPECIFICATION FEATURES

Construction

HOUSING: Heavy wall, one-piece, die-cast aluminum construction for precise tolerance control and repeatability in manufacturing. Integral extruded aluminum heat sink provides superior thermal heat transfer in +40°C ambient environments. **FACEPLATE / DOOR:** One-piece, die-cast aluminum construction. Captive, side hinged faceplate swings open via release of one flush mount die-cast aluminum latch on housing side panel. **GASKET:** One-piece molded silicone gasket mates perfectly between the door and housing for repeatable seal. **LENS:** Uplight lens is impact-resistant, 5/32" thick tempered frosted glass sealed to housing with continuous bead silicone gasket. Downlight lens is LED board integrated acrylic over-optics, each individually sealed for IP66 rating. **HARDWARE:** Stainless steel mounting screws and latch hardware allow access to electrical components for installation and servicing.

Optics

Choice of six patented, high-efficiency AccuLED Optic distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optic technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in

4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT, 5000K CCT and 5700K CCT.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightBARs feature and IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments, occupancy sensor and dimming options available.

Mounting

JUNCTION BOX: Standard with zinc-plated, quick-mount junction box plate that mounts directly to 4" J-Box. LightBARs mount facing downward. Fixture slides over mounting plate and is secured with two stainless steel fasteners. Mounting plate features a one-piece EPDM gasket on back side of plate to firmly seal fixture to

wall surface, forbidding entry of moisture and particulates. Optional mounting arrangements utilize a die-cast mounting adaptor box to allow for LED battery pack, surface conduit and through branch wiring. The Entri LED luminaire is approved for mounting on combustible surfaces.

Finish

Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty

Five-year warranty.



ENC/ENT/ENV ENTRI LED

1 - 2 LightBARs
Solid State LED

ARCHITECTURAL WALL
LUMINAIRE



CERTIFICATION DATA

UL/cUL Listed
ISO 9001
IP66 LightBARs
LM79 / LM80 Compliant
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-30°C Minimum Temperature
40°C Ambient Temperature Rating

SHIPPING DATA

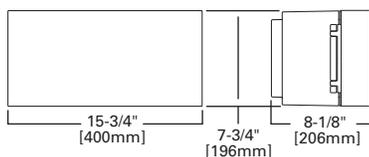
Approximate Net Weight:
16 lbs. (7.3 kgs.)



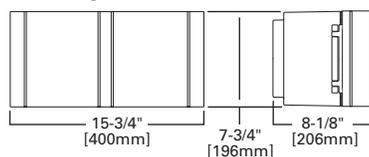
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DIMENSIONS

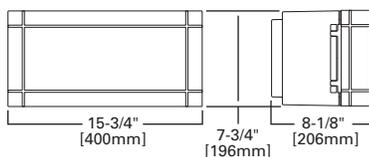
ENC (Round Clean)



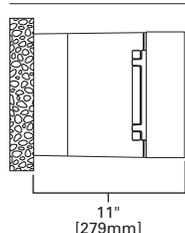
ENT (Triangle Reveals)



ENV (Round Reveals)



CONDUIT MOUNT / BATTERY BACK BOX



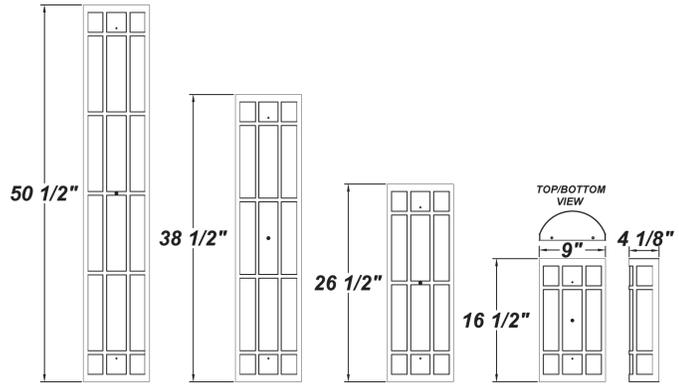
GUARDIAN W VHT LED



PROJECT :
TYPE :
ORDERING # :
COMMENTS :

FEATURES

- Extruded Aluminum Housing w/ Matte Silver Polyester Powder Coat Finish
- Aluminum Fascia w/ Matte Silver Polyester Powder Coat Finish
- Die Cast Aluminum End Caps w/ Matte Silver Polyester Powder Coat Finish
- High Impact White Acrylic Diffuser (50% DR Acrylic)
- Steel Reflector w/ Hi-Reflectance White Powder Coat Finish
- Recessed Steel Screws
- Fixture Mounts Directly to Surface w/ Two Wall Anchors (Not Included)
- Over-Voltage, Over-Current, and Short-Circuit Protection w/ Auto Recovery
- 120V - 277V
- Surge Protector
- CSA Listed Wet Location For Wall Mount Only
- Motion Sensor



ORDERING INFORMATION

Example : (GRDW24-VHT - L46.5 - ZE1100 - WAL - SW - 40K)

Matte Silver is Standard Finish

PRODUCT	SOURCE/WATTAGE	VOLTAGE	DRIVER OPTIONS	DIFFUSER	FINISH	OPTIONS
Guardian W VHT 16 1/2" (GRDW-VHT)	L33.6 - 33.6W LED Strip(s) L18.0 - 18W LED Strip(s)	120 - 277V (L18.0 is Dimmable From 120 - 230V)	12CV - 12V Constant Voltage Non-Dimming Electronic Driver (For L33.6) TE500 - 500mA ELV Low Voltage 2-Wire Electronic Driver (For L18.0) LE500 - 500mA Line Voltage 2-Wire Dimming Driver (For L18.0) (120V Only)	WAL - White Acrylic Lens	SM - Matte Silver TB - Textured Black AC - Antique Copper AS - Antique Silver BT - Bronze Mist CP - Copper KC - Kenworth Chrome SN - Sand SW - Swedish Steel BZ - Textured Bronze TW - Textured White	30K - 3000K Color Temp. 35K - 3500K Color Temp. (L18.0 Only) 40K - 4000K Color Temp. 51K - 5100K Color Temp. (L33.6 Only) ADA - ADA Compliant Fascia OEL - Single End Window (Only Available w/ADA Option) TEL - Twin End Windows (Both Ends) (Only Available w/ADA Option)
Guardian W VHT 2' (GRDW24-VHT)	L36.5 - 36.5W LED Strip(s) L46.5 - 46.5W LED Strip(s) L49.5 - 49.5W LED Strip(s) L70 life time for 50,000hr	(120 - 277V Dimmable For 0 - 10V)	ZE1050 - 1050mA 4-Wire Dimming Driver (For L36.5) (Dimmable 0 - 10V) ZE1100 - 1100mA 4-Wire Dimming Driver (For L46.5) (Dimmable 0 - 10V) ZE1150 - 1150mA 4-Wire Dimming Driver (For L49.5) (Dimmable 0 - 10V)		RAL Colors or Custom Match - Consult Factory	

REPLACEMENT PARTS PART NO.

16" Acrylic LED Lens Assembly	38200
2' Acrylic LED Lens Assembly	38216

NOTES

We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice.



BUY AMERICA ACT

Omnience™



CP3985-BRNZ



Oldenburg Tech Center
 Kingsford, Michigan
 Architect: Epstein Uhlen Architects
 Lighting Designer: Benyo Lighting Design
 Photo by: Boldt Photography



Features

- 5 year product warranty
- Rolled extruded aluminum housing with upper perforations to provide a luminous glow to reduce ceiling contrast
- Oven cured no VOC acrylic powder coat
- 1/8" thick Lumieo™ white acrylic diffuser with matte finish, 55% transmission efficiency, UV stable
- Optional specialty diffuser materials available, including Vara Kamin's Impressions of Light® images, which are replicated from Kamin's original works of art
- Optional 1/8" thick impact resistant polycarbonate clear lens cover (CP3970 & CP3975 only)
- Easy tool-less relamping
- LED or fluorescent source
- High power factor electronic ballast
- Mounts through 4" octagonal by 2-1/8" deep electrical junction box (by others) to structural blocking (by others) with provided hardware for ceiling slopes up to 45 degrees from horizontal
- ETL listed to UL standards (US and Canada) for indoor damp locations. Not recommended for exterior applications

LED Features

- White source (3000K, 3500K, 4000K), 0-10V dimmable
- Modular design allowing replacement of the LED source and power supply
- Constant current LED technology to protect LEDs from experiencing "over current" conditions that can cause overheating and premature failure
- Thermally managed within manufacturer specifications to promote long LED life
- No ultraviolet or infrared, alleviating potential damage to art, fabric and materials
- Mercury free LED source reduces impact to waste stream

Suggested Variations

- Increase or decrease housing diameter
- Custom color or material
- Specialty acrylic diffusers
- Sloped ceiling adaptor for ceiling slopes greater than 45 degrees
- Alternate source
- Weather tether to secure fixture from wind or excess movement. Safety requirement for all outdoor covered applications



8" Horizontal Compact Fluorescent Lensed Downlights LF8CFH



13W, 18W or 26W Quad Tube
4-pin Lamps
120V, 208V, 240V, 277V, or 347V

DATE: _____ TYPE: H2

FIRM NAME: _____

PROJECT: Spectrum Projects

LiteFrame®

Ceiling Cutout: 8-1/4"
Maximum Ceiling Thickness: 1-1/4"
For conversion to millimeters,
multiply inches by 25.4
Not to Scale

APPLICATIONS:

The LF8CFH series offers horizontally lamped compact fluorescent lensed downlight fixtures. This luminaire is ideal for a wide variety of low to medium height ceiling applications including commercial, retail, hospitality, and design-build.

HOUSING:

One-piece 22-gauge galvanized steel platform. Prewired J-box with snap-on cover for easy access. Vented at lamp tip and socket for maximum light output. Same housing accommodates downlight, lensed downlight, and wall wash downlight reflectors.

REFLECTOR:

High purity aluminum, Alzak, iridescence suppressed, semi-diffuse reflector. Self-trim standard. White painted splay standard.

LAMPS:

Use two (2), 13W (G24Q-1 base), 18W (G24Q-2 base), or 26W (G24Q-3 base) quad tube 4-pin compact fluorescent lamps. Lamps furnished by others or as option below.

BALLAST:

One (1) Class 'P' 120V-277V HPF compact fluorescent electronic ballast for long life and quiet operation. All ballast options are equipped with end of life protection. Contact technical support for 347V. Accessible from below ceiling.

SOCKET:

Two (2) injection molded sockets (vented).

INSTALLATION:

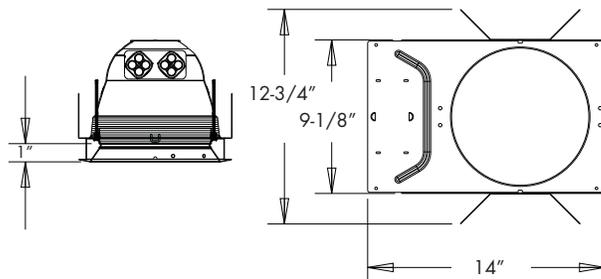
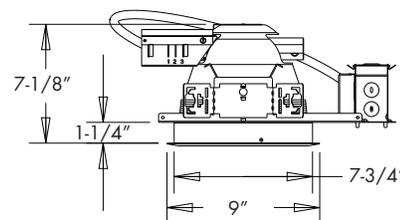
Universal adjustable mounting brackets accept 1/2" EMT conduit or 1 1/2" or 3/4" lathing channel (by others) or Prescolite 24" bar hangers (B24 or B6). Light commercial bar hangers included.

LABELS:

UL listed or UL/CSA listed with CDN option for wet locations with lensed trims. UL, CUL listed for damp locations for EMR housing option. Approved for through wiring (4 in, 4 out). Non-IC type.

LAMP INCLUDED OPTION:

Specify lamp type Q4 (Quad 4-pin) and temperature as shown below.



Order housing, reflector and accessories separately.

CATALOG NUMBER:

EXAMPLE: LF8CFH226EB 8CFHCL LP13Q427K

HOUSING	WATTAGE	BALLAST	VOLTAGE	HOUSING OPTIONS	REFLECTOR	SPLAY COLOR	LENS	TRIM OPTIONS	ACCESSORIES
<input type="checkbox"/> LF8CFH	<input type="checkbox"/> 213 (2) 13W Quad <input type="checkbox"/> 218 (2) 18W Quad <input type="checkbox"/> 226 (2) 26W Quad	<input type="checkbox"/> EB Multi-volt	<input type="checkbox"/> Blank 120V-277V <input type="checkbox"/> CDN Canadian Electrical code compliant ballast disconnect <input type="checkbox"/> CDN 347V⁶ Canadian Electrical code compliant ballast disconnect	<input type="checkbox"/> CP³ Chicago Plenum <input type="checkbox"/> FSDFA Fuse kit installed at factory <input type="checkbox"/> RIF1^{2,3} Radio interference filter (single circuit) <input type="checkbox"/> EMR^{2,3,4} Emergency battery pack with remote test switch and indicator light <input type="checkbox"/> DM Electronic Analog Dimming Ballast to 3%, 4-wire, 0-10V (120-277V) <input type="checkbox"/> SYL⁵ Osram Sylvania Ballast (available only for standard EB option) <input type="checkbox"/> ECDM Lutron EcoSystem or 3-wire line voltage dimming ballast (120V-277V). Dims to 5%. <input type="checkbox"/> 7DM Advance Mark 7™ Dimming Ballast to 5%, 4-wire, 0-10V, analog (120V thru 277V)(specify wattage) <input type="checkbox"/> XDM¹ Advance Mark 10™ Dimming Ballast to 5%, 2-wire line voltage (specify supply voltage/wattage) <input type="checkbox"/> SMT Philips Advance SmartMate® ballast	<input type="checkbox"/> 8CFH 8" Alzak Semi-Diffuse <input type="checkbox"/> CR Clear Alzak <input type="checkbox"/> CG Champagne Gold Alzak <input type="checkbox"/> PW Pewter Alzak <input type="checkbox"/> WE Wheat Alzak <input type="checkbox"/> LW Light Wheat Alzak	<input type="checkbox"/> Blank Painted White <input type="checkbox"/> FL Regressed Fresnel <input type="checkbox"/> PL Regressed Prismatic <input type="checkbox"/> DL Regressed Diffuse <input type="checkbox"/> CL Regressed Clear	<input type="checkbox"/> WT White flange (Alzak only) <input type="checkbox"/> TRG Trim Ring Gasket (Factory installed)	<input type="checkbox"/> B24 Set of (2) 24" bar hangers for T-bar ceilings <input type="checkbox"/> B6 Set of (2) bar hangers for ceiling joists up to 24" centers <input type="checkbox"/> FSDFI Fuse kit for field installation <input type="checkbox"/> SCA8D Sloped ceiling adapter (see note on back page)	
									LAMP ACCESSORIES
									<input type="checkbox"/> LP -wattage= 13, 18, 26 -type= Q4 (Quad 4-pin) -temp= 27K, 30K, 35K, 41K (Kelvin) *Example: LP13Q427K Requires two lamps.

¹Not available for 13W Quad lamps

²RIF1 and EMR options not offered in combination

³CP not offered in combination with RIF1 or EMR

⁴UL, CUL listed for damp locations

⁵Available for Osram Sylvania Quick 60+® Limited Warranty when used with Osram lamp(s). See www.prescolite.com for details.

⁶Dimming option not available for 347V



A Division of Hubbell Lighting, Inc.

In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product.

Web: www.prescolite.com • Tech Support: (888) 777-4832

LFR-CFL-014

the great outdoors[®]

by MINKA-LAVERY[®]

Job Name:
Job Type:
Quantity:

Family:	Kirkham™
Product Category:	WALL MOUNT
Item#:	8101-A138
Finish:	ASPEN BRONZE
Certification:	3057374



Lamping

Light Type:	A-15,MED
Socket Type:	E26,MED
Max Wattage:	60
Bulbs Included:	N
Dimmable:	Y
CRI:	N/A
Color Temp:	N/A
Initial Lumens:	N/A
Delivered Lumens:	N/A
Rated Life Hours:	N/A
Photo Cell Included:	N/A
Ballast:	N/A

Shipping

Carton Weight:	2.2
Carton Width:	11
Carton Height:	8
Carton Length:	13
Carton Cubic Feet:	0.662
Master Pack:	6
Master Pack Weight:	15.4
Master Pack Width:	13.5
Master Pack Height:	22.75
Master Pack Length:	25.25
Master Cubic Feet:	4.488
*Multi-Pack:	1
Small Package Shippable:	Y

Measurements

Width:	8.5
Height:	6
Length:	N/A
Min Overall Height:	N/A
Max Overall Height:	N/A
Height Adjustable:	N
Extension:	10.5
Net Weight:	0.90
Back Plate/Canopy Width:	5.13
Back Plate/Canopy Height:	N/A
Canopy Length:	N/A
Center to Top of Fixture:	3.25
Center to Bottom of Fixture:	2.75
Slope:	N
Chain Length:	N/A
Wire Length:	7

Shade

*Shade Description:	N/A
*Shade Material:	N/A
*Shade Quantity:	N/A
*Shade Number:	N/A
*Shade Width:	N/A
*Shade Height:	N/A
*Shade Length:	N/A

Miscellaneous

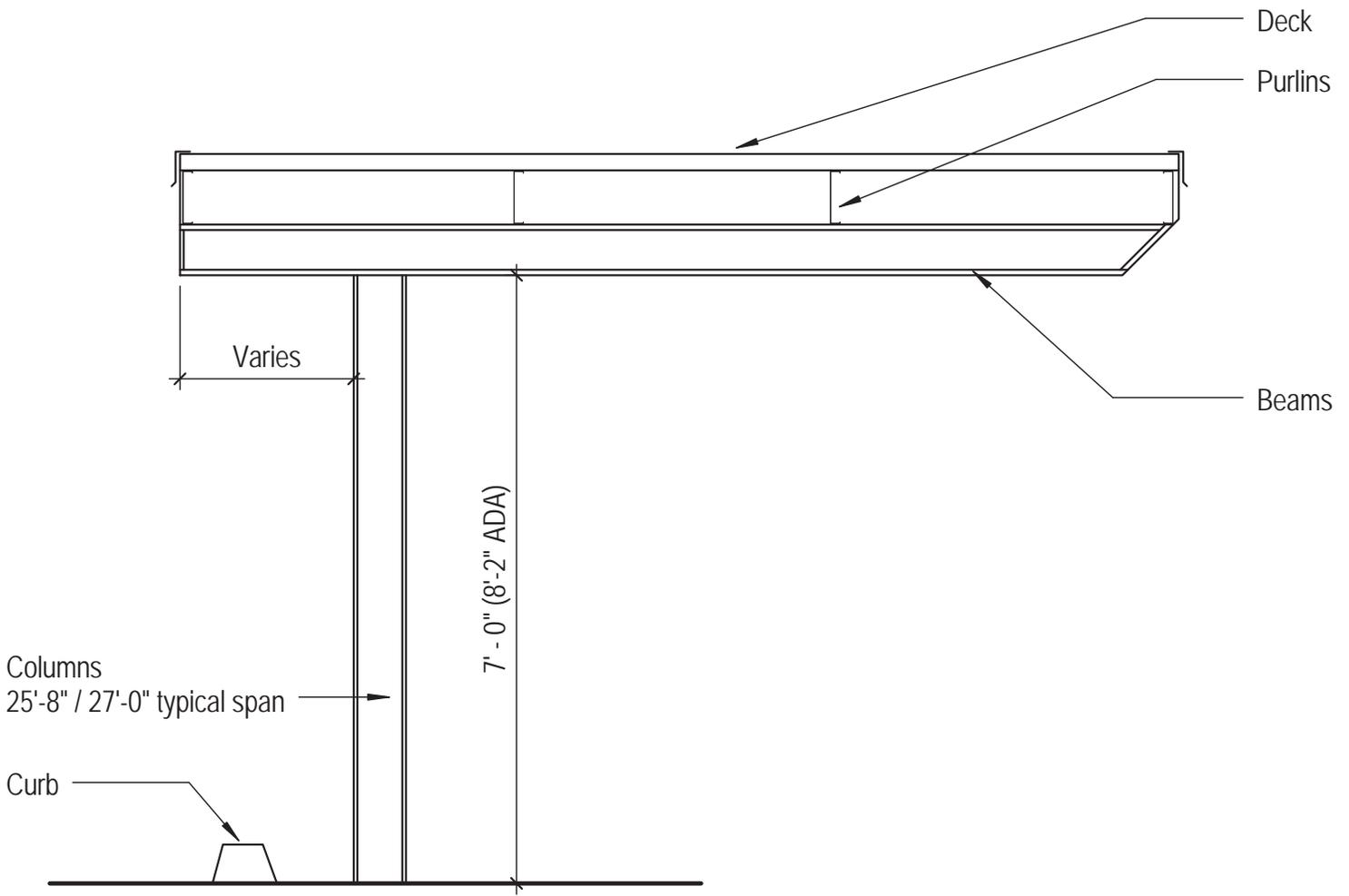
Safety Cable Included:	N
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*For additional information, please contact Customer Care: 1-800-221-7977.

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Exhibit J
Carports







Context Photos : The Enclave Senior Living Facility (Spectrum Care)



Photos above and below: Front entrance of main building.



Photos below: Back-end of main building.



Photos below: Examples of the independent living casitas.

