



1

Planning Commission Study Session

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: STEPHANIE BUBENHEIM, PLANNER II *SB*
(480) 503-6625, STEPHANIE.BUBENHEIM@GILBERTAZ.GOV

THROUGH: AMY TEMES, INTERIM PRINCIPAL PLANNER *AT*
(480) 503-6729, AMY.TEMES@GILBERTAZ.GOV

MEETING DATE: SEPTEMBER 5, 2018

SUBJECT: DR18-145, SANTAN PAVILIONS PHASE VII ASHLEY
FURNITURE HOMESTORE

STRATEGIC INITIATIVE: Economic Development

To allow for continuing construction of an existing mixed use development.

REQUEST

DR18-145, SanTan Pavilions Phase VII Ashley Furniture Homestore: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.23 acres, generally located at the southwest corner of Santan Village Parkway and Williams Field Road and zoned Regional Commercial (RC).

RECOMMENDED MOTION

Request for input only. No motion required.

APPLICANT/OWNER

Company: Cawley Architects, Inc.
 Name: David Fulk
 Address: 730 N. 52nd St. Ste. 203
 Phoenix, AZ 85008
 Phone: 602-393-5060

Company: San Tan AZ, LLC
 Name: David Del Zotto
 Address: 5920 S. Rainbow Road Ste. 11
 Las Vegas, NV 89118
 Phone: 702-222-1420

Email: davidf@cawleyarchitects.com

Email: david@remingtonnevada.com

BACKGROUND/DISCUSSION

History

Date	Description
<i>April 11, 2006</i>	Town Council approved the Rezoning Case No. Z05-11(Ordinance No. 1726) and Annexation Case No. A05-11 (Ordinance No. 1725).
<i>September 13, 2007</i>	Design Review Board approved DR07-80 Promenade at San Tan.
<i>November 7, 2007</i>	Design Review Board approved DR06-137A San Tan Square
<i>January 6, 2016</i>	Planning Commission denied UP15-12 Flat at Santan, a Conditional Use Permit for multi-family in a mixed use development within Regional Commercial (RC) zoning.
<i>January 28, 2016</i>	Town Council heard appeal case AP16-01 and overturned the Planning Commissions denial of UP15-12 and approved the use permit for Multi-family in Regional Commercial (RC) zoning.
<i>February 11, 2016</i>	DR15-55 Flats was approved by the Design Review Board.
<i>October 5, 2016</i>	DR16-22 SanTan Pavilions Master Site Plan and Phase I were approved by the Design Review Board.
<i>May 3, 2017</i>	Design Review Board approved DR17-1005 SanTan Pavilions Phase II.
<i>May 17, 2017</i>	DR17-1032 SanTan Pavilions Phase III was approved administratively.
<i>January 4, 2018</i>	DR17-1164 SanTan Pavilions Phase IV Study - Sandbar Mexican Grill was approved administratively.
<i>January 18, 2018</i>	DR17-1172 SanTan Pavilions Phase V, Pad 2 & Shops J was approved administratively.
<i>July 11, 2018</i>	Planning Commission discussed DR18-104 SanTan Pavilions Phase VI Shops K at Study Session.
<i>August 23, 2018</i>	DR18-104 SanTan Pavilions Phase VI Shops K was approved administratively.

Overview

The proposed project is requesting Design Review approval for a 1.23 acre site for Ashley Furniture Homestore, a retail building of approximately 39,093 square feet. This is Phase VII of the SanTan Pavilions and is referenced as Major B located west of Shops D and Major D (At Home). Earlier phases received approval for perimeter landscaping for the entire site, plus internal circulation routes around the future development pads. The main parking area for this site was approved with Phase II. The Phase VII addition will include the building, landscaping, 12 parking spaces located at the rear of the building and other site improvements.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Regional Commercial	Regional Commercial	SanTan Pavilions internal parking lot

South	Regional Commercial	Regional Commercial	Internal driveway and then Flats at SanTan
East	Regional Commercial	Regional Commercial PAD	Shops D and At Home
West	Regional Commercial	Regional Commercial	Future Shops C and Major A
Site	Regional Commercial	Regional Commercial	SanTan Pavilions - vacant

Project Data Table

Site Development Regulations	Required per LDC	Proposed
Acres	No minimum or maximum	Total - 37.38 Gross Ac. Total - 32.90 Net Ac. Phase I - 4.97 Net Ac. Phase II - 10.5 Net Ac. Phase III - 0.94 Net Ac. Phase IV - 0.44 Net Ac. Phase V - 6.33 Net Ac. Phase VI - 0.73 Net Ac. Phase VII - 1.23 Net Ac. Total Developed to Date - 25.14 Net Ac.
Building Square Footage	No minimum or maximum	Major D - 108,535 sf Shops D - 8,000 sf Shops E - 8,160 sf Shops F - 8,130 sf Shops G - 9,730 sf Shops H - 10,000 sf Shops J - 10,800sf Pad 4 - 4,766 sf Pad 2 - 5,790 sf outdoor Pad 2 - 14,600 sf Shops K - 6,076 sf Major B - 39,093 sf Total to Date - 236,808sf
Maximum Building Height	55'	Major B - 45'
Minimum Setback		
Front to ROW	25'	0' internal to project
Side to non-residential	20'	0' internal to project
Rear to non-residential	20'	0' internal to project
Separation Between Buildings	15' 1-story 20' multi-story	4'* (comments made in 1 st review)
Minimum Required Perimeter Landscape Area		
Front to ROW	25'	25' Completed with Phase I
Side to non-residential	20'	0' internal to project
Rear to non-residential	20'	0' internal to project

Landscaping (% of net lot area)	15%	18.5% overall for center
Parking spaces	1:200 sf of gross building area Phases I - VI – 972 Phase VII - 195 Total required to date – 1,167	Phase I - V – 1,407 Phase VII - 11 Total provided to date – 1,419

DISCUSSION

The project is currently in first review and therefore additional comments, beyond what are included in this report, may be brought forward for discussion during the study session meeting.

Site

The Site Plan for Ashley Furniture Homestore (Major B) is generally consistent with the Master Site Plan of SanTan Pavilions for the subject site. The site is centrally located within the shopping center surrounded by existing drive aisles and Shops D and At Home to the east. The parking lot to the north was installed with Phase II development, but is allotted for Major B’s use. Ashley Furniture will require 195 (RC shared parking at 1:200) parking spaces. The owner has provided additional parking because they do not believe the shared parking ratio is adequate for their user’s needs. A dual bay loading dock is screened by a 14’4” screen wall to screen from residential to the south. *First Review comments for Phase VII centered on trash enclosure location and additional foundation landscape plantings. Staff has no significant issues that cannot be easily addressed.*

Landscape

The landscape design is consistent with the overall landscape palette approved with previous phases. The landscaping of the parking lot was previously installed with Phase II. Landscaping is provided at the front entrance of the store and at the rear of the store where additional parking spaces have been provided. Future Shops C will provide additional landscaping to the west when Design Review is brought forward for that phase. Phase VII is providing 4.2% net landscape area which is included with the overall SanTan Pavilions 18.5% landscape, which exceeds the required 15%.

Grading and Drainage

Grading and retention is directed south of the site to an existing retention area on the south side of the drive aisle. The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert’s Engineering Division.

Elevations, Floor Plan, Colors and Materials

The colors and materials are consistent with previous approvals in Phases I-VI. The architecture is developing with a sophisticated, family friendly character appropriate for the Gilbert shopper. The design motif sets a stage for multiple tenant identities within an organized framework of materials and forms. Though there is no strong reference to historical style, the building designs nonetheless embrace many timeless qualities that appeal to human interaction and scale. The

building east and west elevations will mostly be covered by Shops C, D and Major B (At Home) resulting in less articulation. The south elevation does incorporate all materials staff is requesting further articulation and requires all drainage must be internalized. A shaded canopy will be provided along the store front on the north elevation consistent with the rest of the buildings in SanTan Pavilions. *First review comments include further articulation to match the architecture blocking style with the rest of the center, examples of recent approvals have been attached.*

Lighting

Lighting for the project will be done with energy efficient fixtures, in conformance with Town requirements for height, light output and shielding. The proposed lights are consistent with previous phases. Phase VII lighting includes wall mounted emergency lights wall sconces and downlights. No light poles are proposed in this phase. The proposed wall sconces are mounted at 20' high and will require the two additional findings of fact listed below:

- a. The fixtures are used for the purpose of: accentuating architectural features of the building, accentuating signage, accentuating landscape or hardscape features, security or for service areas; and
- b. The fixtures are located on building elevations that do not side onto property designated for residential use in the General Plan.

Signage

Signage is not included in this approval. Administrative Design Review approval is required prior to permitting as part of SanTan Village and Pavilions Master Sign Plan.

PUBLIC NOTIFICATION AND INPUT

The proposed project will not require public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

If after Study Session, the project has addressed all review comments and those brought forth by the Planning Commission, the project may qualify for an administrative approval.

Per LDC Section 5.602.B.m., projects that do not require public notice yet require approval by the Planning Commission/ Design Review Board may be approved administratively after the project is discussed by the Planning Commission/ Design Review Board at a Study Session and final exhibits meet review comments for code requirements.

REQUESTED INPUT

1. Articulation and building massing compared to architecture approved within SanTan Pavilions

Respectfully submitted,



Stephanie Bubenheim
Planner II

Attachments and Enclosures:

- 1) Vicinity Map
- 2) Site Plan and Details
- 3) Landscape
- 4) Grading and Drainage
- 5) Colors and Materials
- 6) Elevations
- 7) Floor Plans
- 8) Lighting
- 9) Previously approved architecture within the Pavilions



San Tan Pavilions Phase VII Ashley Furniture Home Store Parcel Map



ASHLEY
HOMESTORE
(THIS SUBMITTAL)
APN: 304-95-990

SAN TAN PAVILIONS

DR18-145 SanTan Pavilions Phase VII - Ashley Furniture Homestore
Attachment 2: Site Plan and Details
September 5, 2018

PROJECT DESCRIPTION

A NEW RETAIL BUILDING OF APPROX. 39,000 S.F. FOR ASHLEY FURNITURE HOMESTORE (MAJOR B) OF SAN TAN PAVILIONS PHASE VII

PROJECT INFORMATION

PROJECT:	SAN TAN PAVILIONS PHASE VII ASHLEY FURNITURE HOMESTORE (MAJOR B)
ADDRESS:	SWC SAN TAN VILLAGE PKWY & WILLIAMS FIELD RD GILBERT ARIZONA
OWNER:	SAN TAN AZ, LLC 5920 S. RAINBOW BLVD, SUITE 11 LAS VEGAS, NV 89118 TEL: 702-222-1420 EMAIL: rose@remingtonnevada.com

SITE DATA

EXISTING ZONING:	RC
OVERALL PROPERTY:	GROSS: 1,628,315 SF (37.38 AC) NET: 1,443,000 SF (32.90 AC)
PHASES I-VI:	1,161,039 SF (26.65 AC)
PHASES VII (SUBJECT):	53,737 SF (1.23 AC)
TOTAL TO DATE:	1,214,776 SF (27.89 AC)

BUILDING AREAS

PHASES I-VI:	197,715 SF
PHASES VII (SUBJECT):	39,093 SF
TOTAL TO DATE:	236,808 SF

LOT COVERAGE TO DATE:	16.4%
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PARKING QUANTITIES

	FACTOR	TOTAL SP
REQUIRED: PHASES I-VI	191,385 / 200 (INDOOR COMMERCIAL)	958
	5,790 / 400 (OUTDOOR USES)	14
TOTAL I-VI		972
REQUIRED: PHASES VII (SUBJECT)	39,093 / 200 (INDOOR COMMERCIAL)	195
TOTAL PARKING REQUIRED TO DATE:		1,167

BIKE PARKING REQUIRED	1 / 10	117
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	FACTOR	TOTAL SP
PROVIDED: PHASES I-VI	STANDARD	1,357
	ADA	50
TOTAL I-VI		1,407

	STANDARD EXISTING ON SITE	TOTAL SP
PROVIDED: PHASES VII (SUBJECT)	ADA EXISTING ON SITE	4
	STANDARD (NEW)	11
	ADA (NEW)	1
TOTAL VII		172
TOTAL PARKING PROVIDED TO DATE:		1,419

BIKE PARKING PROVIDED	117
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ON SITE LANDSCAPE AREA - PHASES I-VII

REQUIRED	15%	182,216 SF
TOTAL PROVIDED	18.5%	225,030 SF

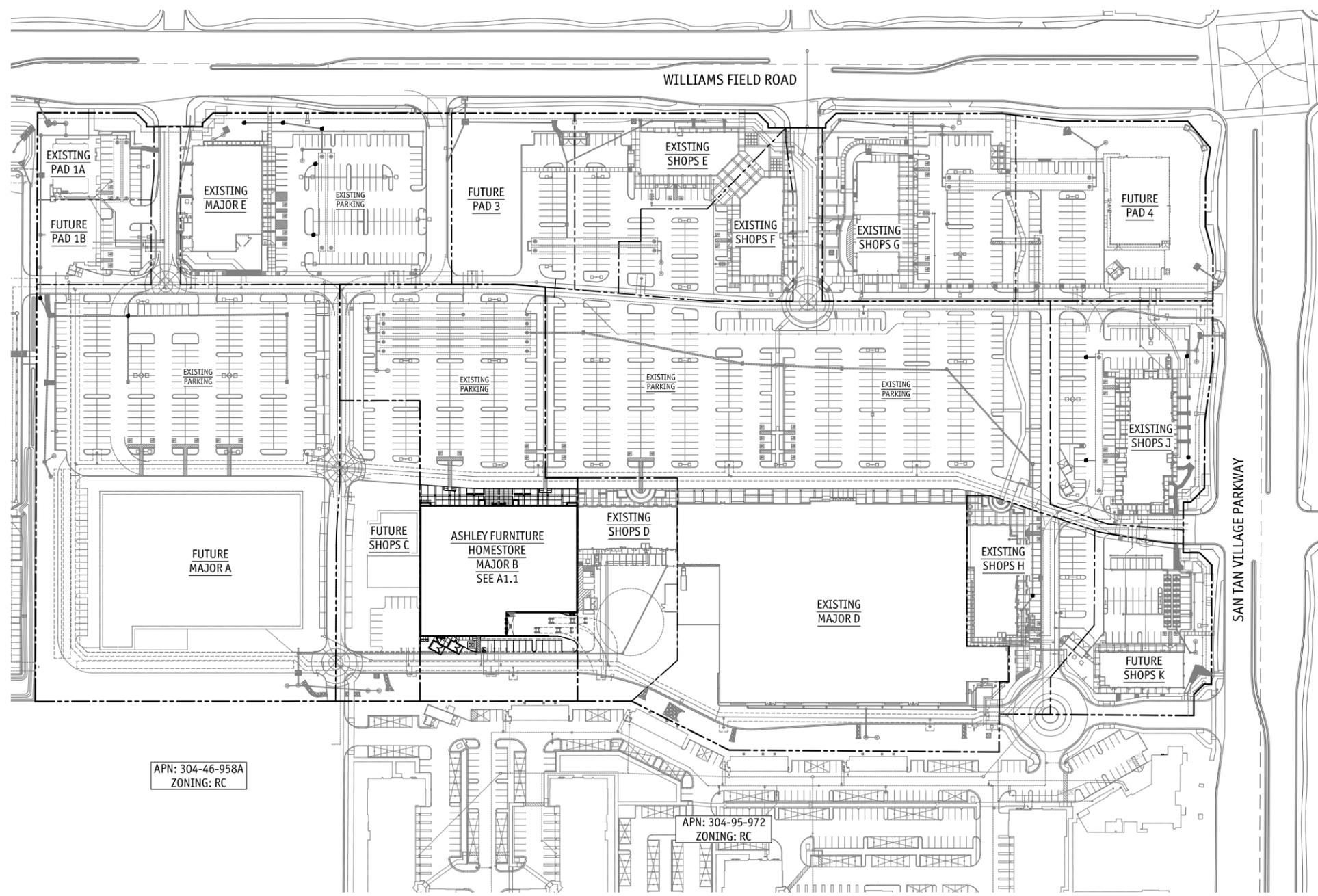
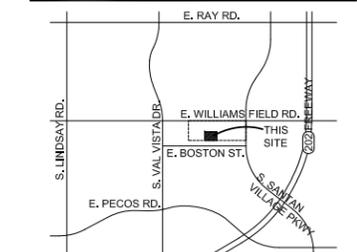
PARKING LOT LANDSCAPE AREA-PHASES I-VII

REQUIRED	526,414 SF @ 10%	52,614 SF
TOTAL PROVIDED		83,925 SF

LEGEND

- PROPERTY LINE
- CAR OVERHANG, MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN
- 6" CURB
- SITE WALL
- MEDIUM BROOM FINISH CONCRETE SIDEWALK
- PAINT STRIPING ON PAVEMENT
- EXISTING FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- ACCESSIBLE ROUT / PATH OF TRAVEL
- FIRE RISER

VICINITY MAP N.T.S.



CAWLEY ARCHITECTS
 730 N. 52nd St. Ste. 203
 Phoenix, Arizona 85008
 P 602.393.5060

CawleyArchitects.com



**SAN TAN PAVILIONS PHASE VII
 ASHLEY FURNITURE HOMESTORE
 GILBERT**

SWC SAN TAN VILLAGE PKWY & WILLIAMS FIELD RD
 GILBERT ARIZONA

DATE
 DR SUBMITTAL
 07-26-2018

NOTICE OF ALTERNATE BILLING CYCLE:
 The contractor allows the owner to receive submission of billings or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide the written description upon request.

The architectural design and data presented in these documents is an instrument of service provided by Cawley Architects.

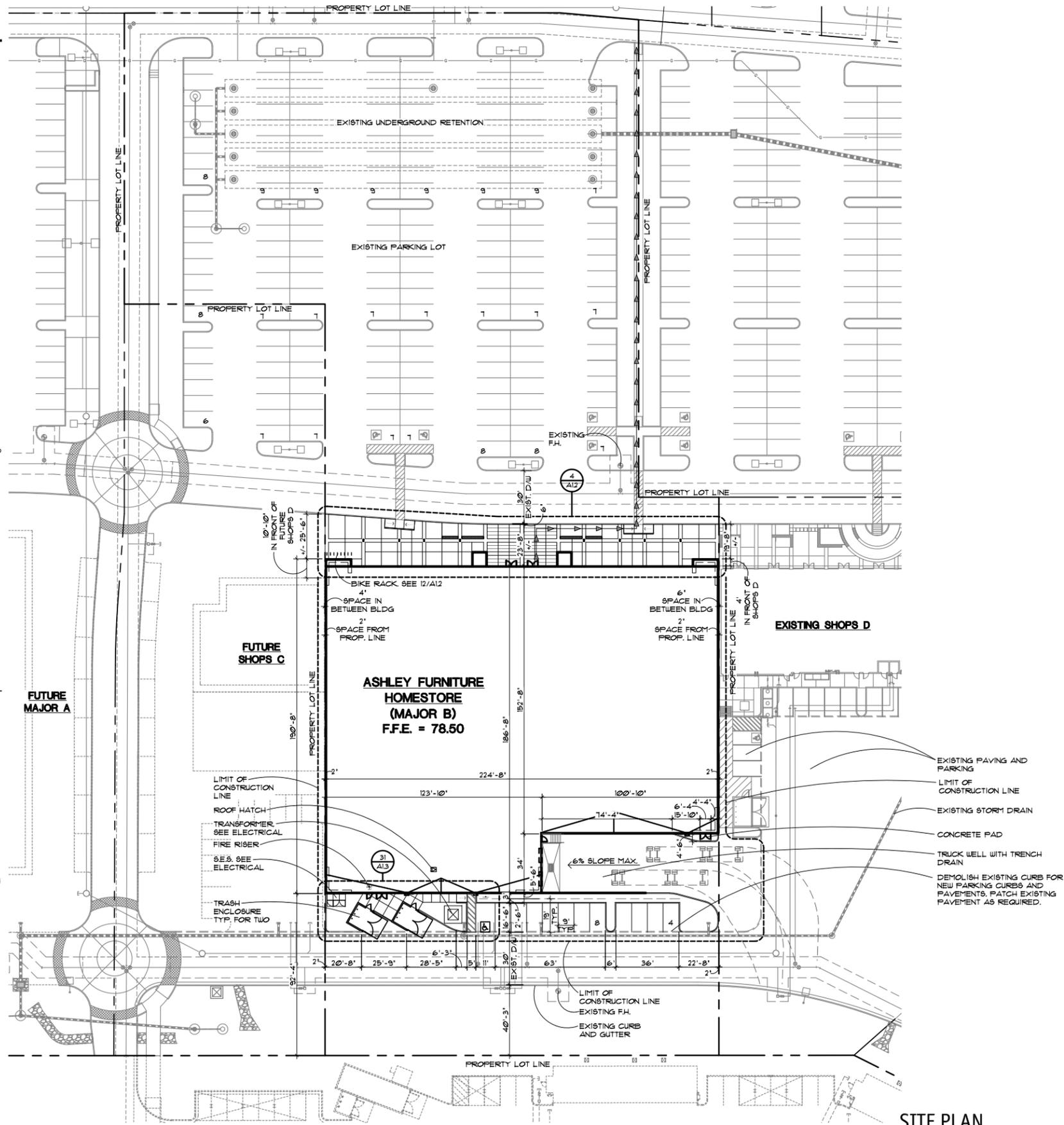
All discrepancies found in these documents or conflicts between these documents and actual field conditions shall be reported to Cawley Architects for resolution prior to commencement of the work.

Discrepancies between bid amounts and these documents shall be reported to the General Contractor prior to commencement of work.

Project - ASHG
A1.0

PROJECT SITE NOTES

- ALL UTILITY LINES LESS THAN 60KV ON CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDERGROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AND ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 8' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
 - FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET.
 - SCREENING WITH A DECORATIVE MASONRY WALL OF SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET.
 - AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
 - THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS OR
 - BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF A MANSARD, HOP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
 - ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING; OR
 - ROUTED UNDERGROUND.
- ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
 - BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
 - HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30' FROM ADJACENT GRADE.
 - BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.102 OF THE L.D.C. INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNTED AND NATURALLY CONTOURED NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS). LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALL. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS, COLORS AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZES.



SITE PLAN
1" = 30'-0"
0 10 20 30 60

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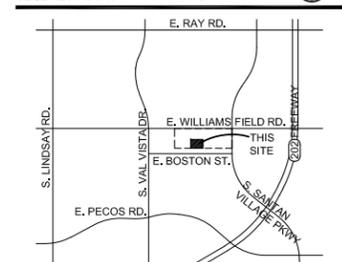
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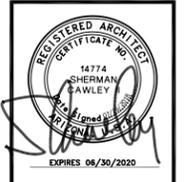
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VICINITY MAP



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SAN TAN PAVILIONS PHASE VII ASHLEY FURNITURE HOMESTORE GILBERT

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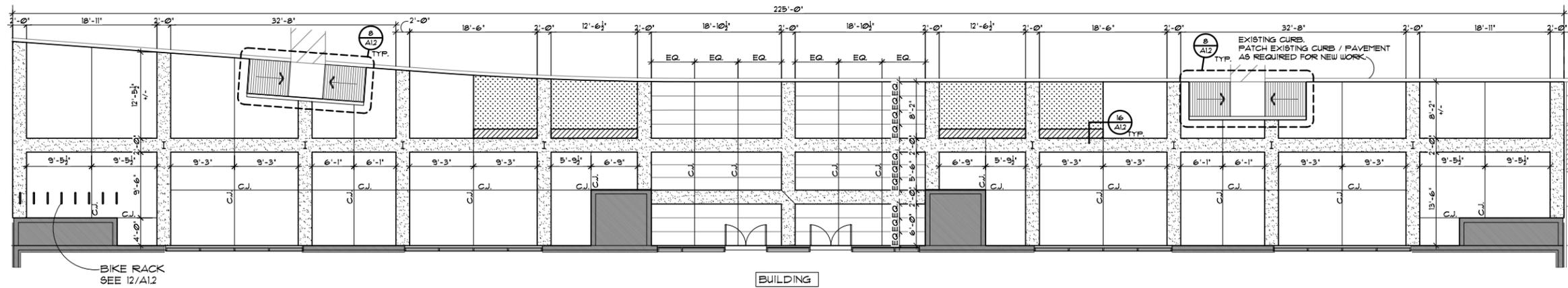
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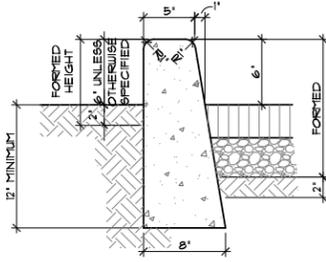


- HARDSCAPE LEGEND:**
- 4' THICK CONCRETE SLAB WITH MEDIUM BROOM FINISH
 - 4' THICK CONCRETE SLAB WITH EXPOSED AGGREGATE FINISH
 - LANDSCAPE AREA
 - PRECAST CONCRETE SEAT WALL
 - CONTROL JOINT

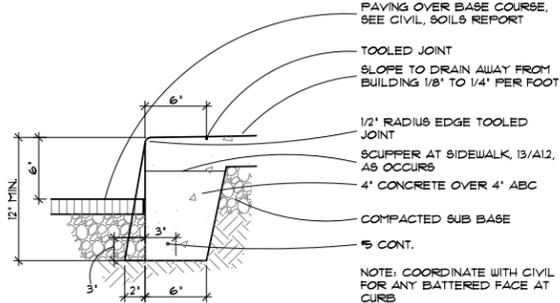
4 ENLARGED HARDSCAPE PLAN
SCALE: 1/8" = 1'-0"

NOTES:

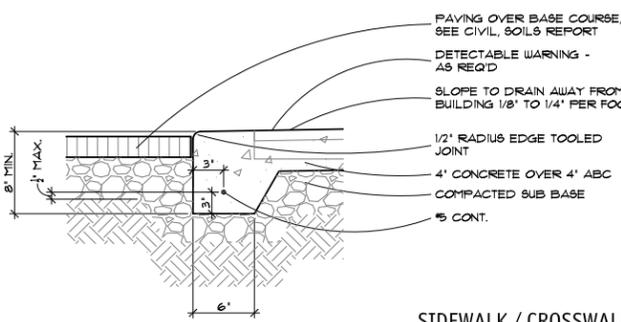
1. ALL VERTICAL SURFACES TO FORMED
2. VERTICAL SURFACES DOWN FROM 2' BELOW UNDISTURBED SOIL MAY BE PLACED AGAINST NEAT CUT IF APPROVED BY THE ENGINEER AND CONCRETE WILL NOT EXTEND MORE THAN 1' BEYOND THEORETICAL FACE.
3. ALL EXPOSED SURFACES TO BE STRIPED GREEN AND TROUPEL FINISHED.
4. CONCRETE CURBS CONFORM TO SECT. 340.
5. MAXIMUM SPACING OF CONSTRUCTION JOINTS IS 10'-0".
6. CONCRETE TO BE CLASS 'B' PER SECT. 125.
7. WHEN PAVEMENT AND BASE COURSE EQUALS OR EXCEEDS 10" IN DEPTH, THE ENTIRE ROADWAY SIDE OF THE CURB SHALL BE FORMED. THE TOTAL CURB HEIGHT REMAINS 18" UNLESS NOTED OTHERWISE



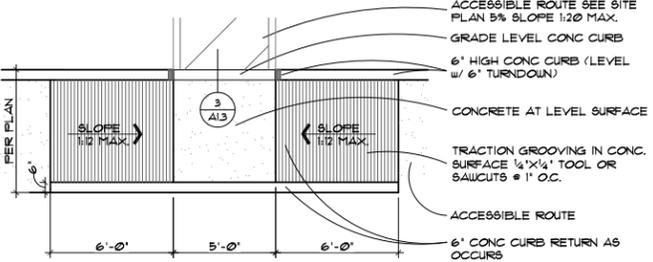
5 CURB TERMINATION M.A.G. STD. DET. #222
SCALE: 1 1/2" = 1'-0"



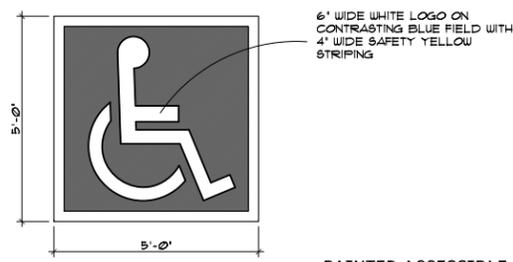
6 SIDEWALK / CURB AT ASPHALT
SCALE: 1 1/2" = 1'-0"



7 SIDEWALK / CROSSWALK CURB CUT @ ASPHALT
SCALE: 1 1/2" = 1'-0"



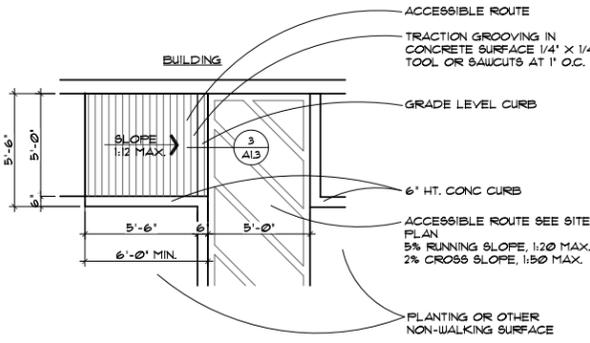
8 CURB RAMP
SCALE: 1/4" = 1'-0"



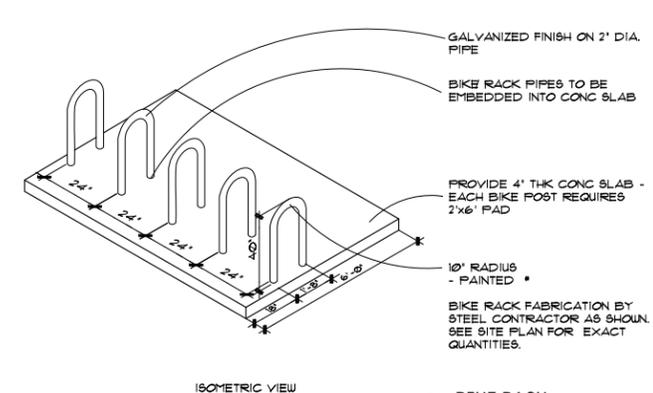
9 PAINTED ACCESSIBLE PAVEMENT SIGN
SCALE: 1/2" = 1'-0"



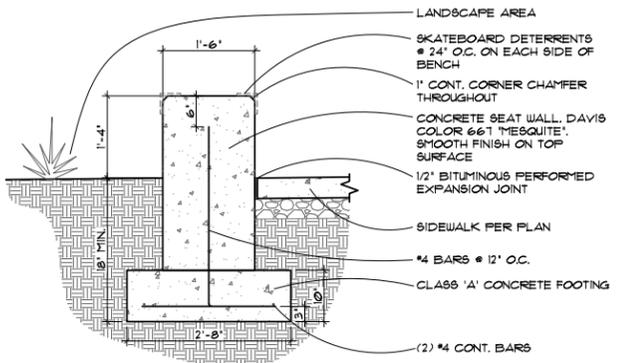
10 ACCESSIBLE PARKING SIGN
SCALE: 1 1/2" = 1'-0"



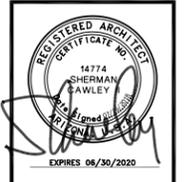
11 CURB RAMP
SCALE: 1/4" = 1'-0"



12 BIKE RACK
SCALE: 3/4" = 1'-0"



16 SEAT WALL SECTION
SCALE: 3/4" = 1'-0"



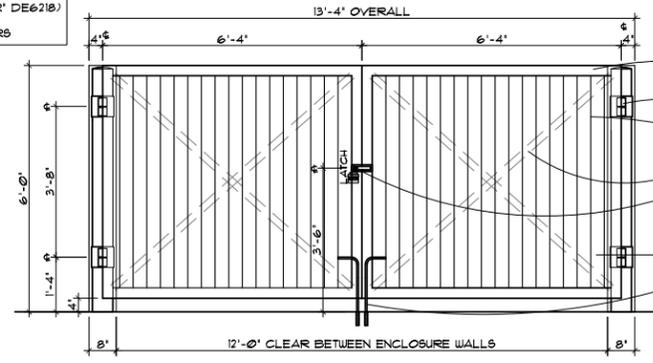
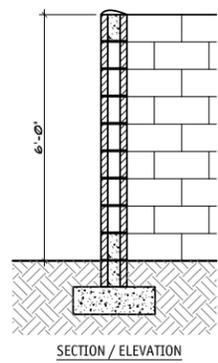
NOTICE OF ALTERNATE BILLING CYCLE:
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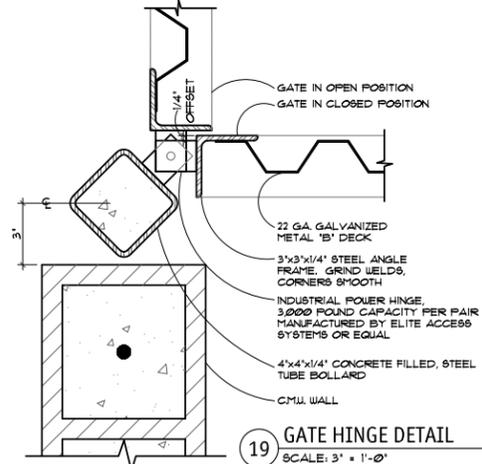
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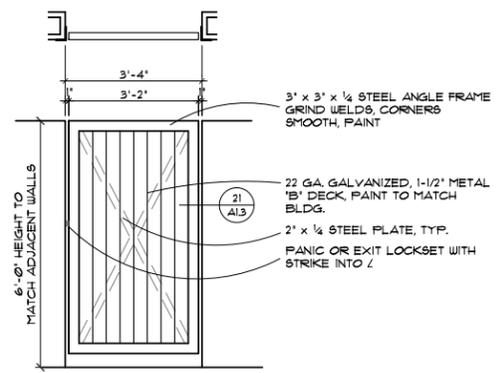
6'-0" HIGH REFUSE ENCLOSURE WALL
 - 8x8x16 SMOOTH REGULAR STRUCK CMU
 - PAINT TO MATCH BUILDING ("ANTIQUE PAPER" DE6218)
 - SEE SITE PLAN FOR REFUSE LOCATION
 - SEE STRUCTURAL FOR FOOTINGS AND REBARS



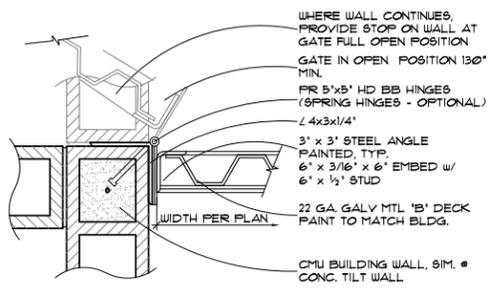
18 TRASH ENCLOSURE GATE
 SCALE: 1/2" = 1'-0"



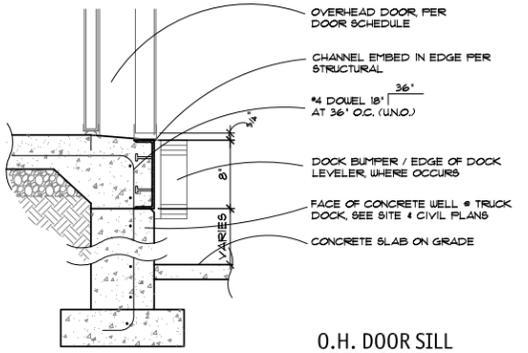
19 GATE HINGE DETAIL
 SCALE: 3" = 1'-0"



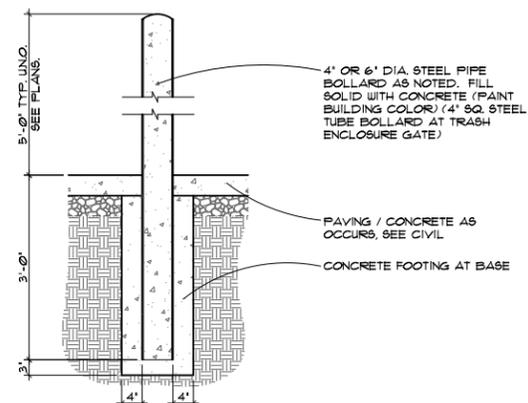
20 YARD ACCESS GATE
 SCALE: 1/2" = 1'-0"



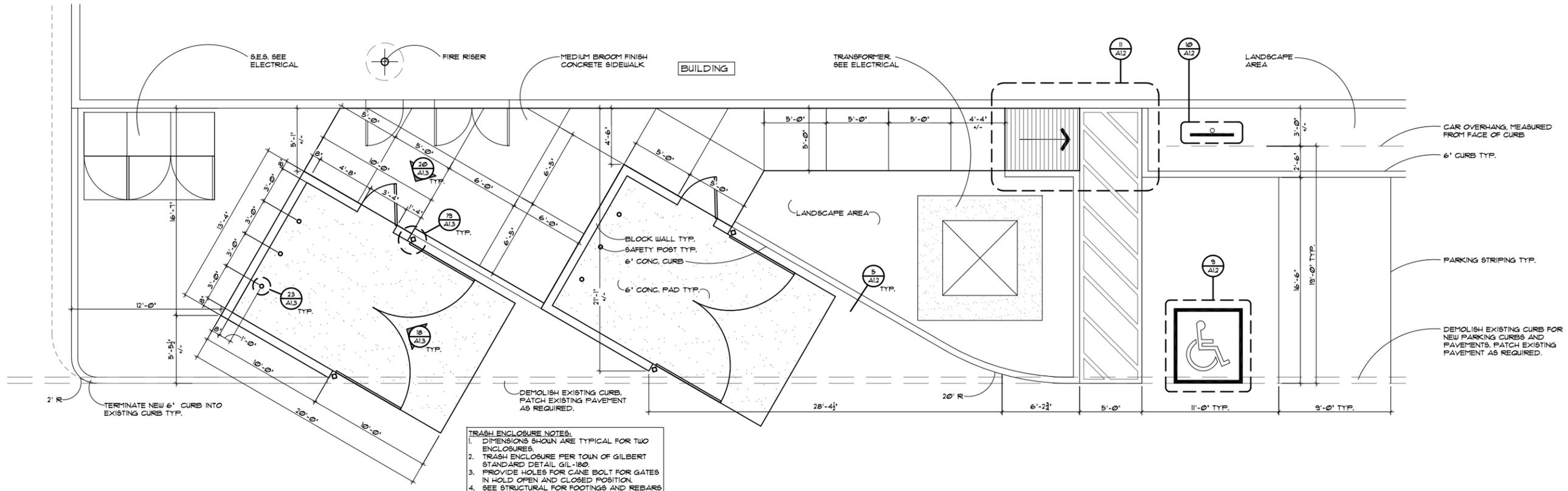
21 EXIT GATE HINGE DETAIL
 SCALE: 1/2" = 1'-0"



22 O.H. DOOR SILL AT TRUCKWELL
 SCALE: 1" = 1'-0"

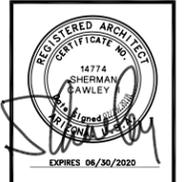


23 PIPE BOLLARD
 SCALE: 3/4" = 1'-0"



TRASH ENCLOSURE NOTES:
 1. DIMENSIONS SHOWN ARE TYPICAL FOR TWO ENCLOSURES.
 2. TRASH ENCLOSURE PER TOWN OF GILBERT STANDARD DETAIL GIL-180.
 3. PROVIDE HOLES FOR CANE BOLT FOR GATES IN HOLD OPEN AND CLOSED POSITION.
 4. SEE STRUCTURAL FOR FOOTINGS AND REBARS

31 ENLARGED PLAN
 SCALE: 1/4" = 1'-0"



SAN TAN PAVILIONS PHASE VII
ASHLEY FURNITURE HOMESTORE GILBERT

SWC SAN TAN VILLAGE PKWY & WILLIAMS FIELD RD
 GILBERT ARIZONA

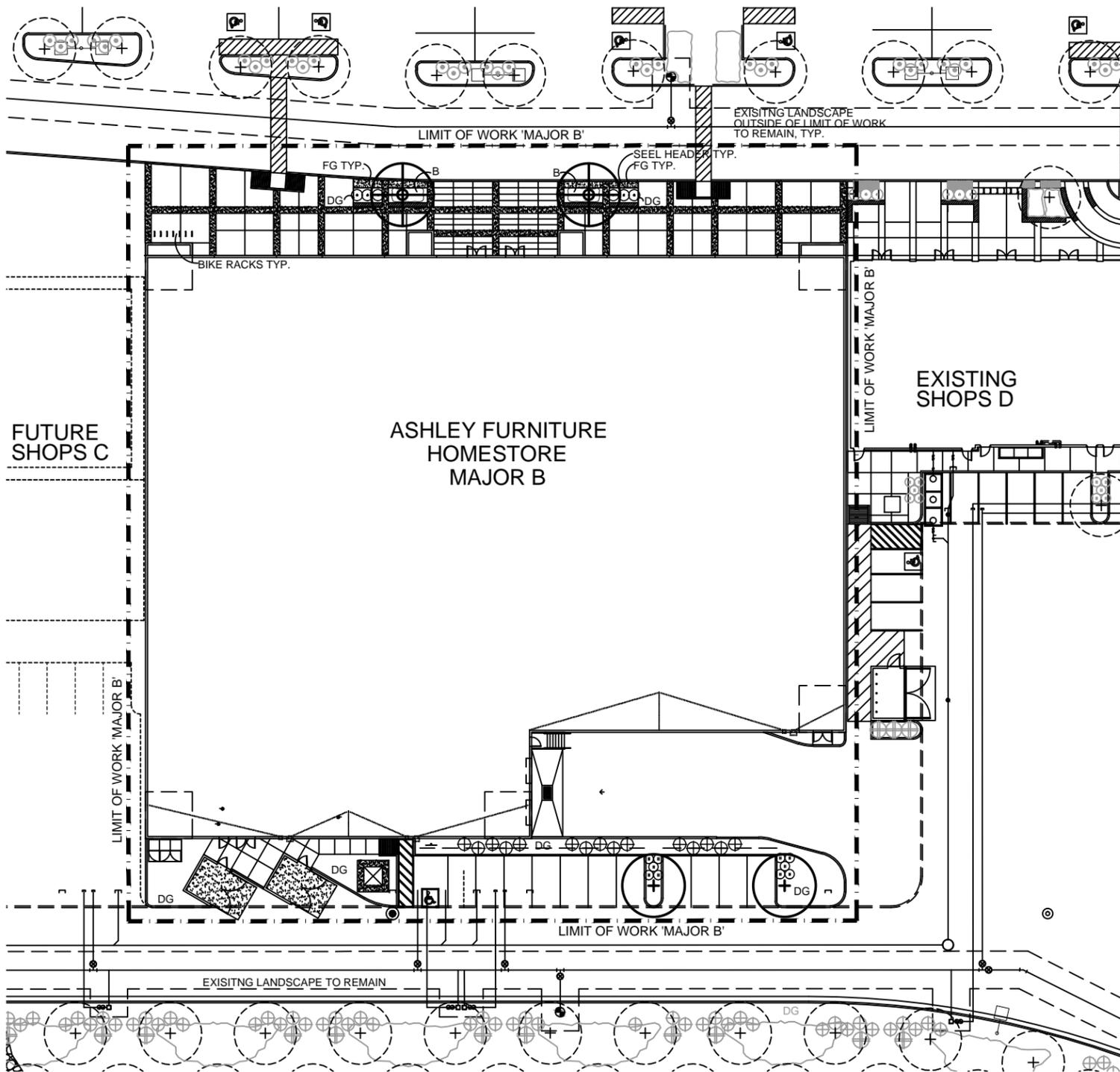
DATE
 DR SUBMITTAL
 07-26-2018

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CONCEPTUAL PLANTING PLAN



- TOWN OF GILBERT NOTES:**
- A Town of Gilbert permit is required for the installation of any landscape or irrigation system. Irrigation lines must be inspected before backfilling. A CD with PDF format "AS-BUILTS" of the landscape & irrigation plans are also required.
 - "Before the Town of Gilbert will accept and installed backflow device for approval the following must be accomplished: The device must be tested by a State Certified Backflow Tester and the test results forwarded to the Town of Gilbert Backflow Specialist. The Town will provide an up-to-date list of Certified Testers from which to be selected. Tester fees will be at the expense of the Installer."
 - Design of walls, entry monument sign, and ramadas as presented herein have been reviewed as conceptual only and will require a separate review and permit from the Building Department. In no case shall the depicted walls, entry monument signs, and ramadas be considered final. Approval by the Planning Department is required prior to the issuance of a Building Permit for said walls, entry monuments, and ramadas.
 - No plant material shall come within 3 feet of fire hydrants and Fire Department equipment.
 - No objects within the Town of Gilbert sight triangles shall exceed 2 feet, and trees shall have a 7 feet minimum clear canopy. All trees, shrubs, and groundcovers are to meet or exceed A.N.A. specifications.
 - Construction may begin after all permits have been obtained.

NOTE:
 ALL LANDSCAPING SHALL COMPLY WITH TOWN OF GILBERT STANDARD DETAIL GIL-212 AT TIME OF INSTALLATION. ALL TREES WITHIN THE SIGHT LINE SHALL CANOPY AT 7' WHEN INSTALLED AND NO VEGETATION OR HARDSCAPE THAT WILL BE ABOVE 24" (AT MATURITY) WILL BE ALLOWED WITHIN THE SIGHT LINE.
 CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL.
 LANDSCAPE INSTALLATIONS TO BE APPROVED BY THE TOWN OF GILBERT INSPECTION SERVICES BEFORE CERTIFICATE OF OCCUPANCY IS ISSUED.
MAINTENANCE NOTE
 All landscape areas and materials shall be maintained in a healthy, neat, clean, and weed-free condition.
 This shall be the responsibility of the PROPERTY OWNERS.

CONCEPTUAL PLANT PALETTE

TREES	SIZE / COMMENTS / QTY
EXISTING TREE TO REMAIN	NA
CERCIDIUM PRAECOX 'AZT HYBRID #5' AZT HYBRID PALO BREA #5	36" BOX LOW BREAKER MATCHED, 2 QTY
ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX MATCHED, 2 QTY
SHRUBS	
SIMMONDSIA CHINENSIS 'VISTA' COMPACT JOJOBA	5 GAL, 10 QTY
LEUCOPHYLLUM FRUTESCENS 'COMPACTA' COMPACT TEXAS SAGE	5 GAL, 15 QTY
MYRTUS COMMUNIS 'COMPACTA' DWARF MYRTLE	5 GAL, 6 QTY
GROUNDCOVER	
ROSMARINUS 'HUNTINGTON CARPET' TRAILING ROSEMARY	1 GAL @ 3' O.C., 11 QTY
DECOMPOSED GRANITE TABLE MESA BROWN - 1/2" SCREENED	2" DEPTH TYP.
FRACTURED GRANITE TABLE MESA BROWN - 1"-3"	4" DEPTH TYP.

GENERAL NOTES

- ALL PLANTING AREAS TO HAVE TOP DRESSING OF DECOMPOSED GRANITE, SIZE & COLOR AS SPECIFIED APPLIED OVER PRE-EMERGENT PER MFG. SPECS, 2 APPLICATIONS, MIN.
- VERIFY ALL CONDITIONS IN FIELD PRIOR TO BIDDING/ INSTALLATION. DISCREPANCIES SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION IN WRITING.
- NO PLANT SUBSTITUTION ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT AND TOWN OF GILBERT.
- LANDSCAPE ARCHITECT TO APPROVE ALL TREES AND SHRUBS PRIOR TO DELIVERY TO SITE.
- LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVE THE RIGHT TO REFUSE ANY PLANT HE/SHE DEEMS UNACCEPTABLE.
- FOR CLARIFICATION OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE, THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONS TO PROTECT ANY EXISTING IMPROVEMENTS.
- PLANT LIST/QTY'S PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS TAKE PRECEDENCE.
- FINISHED GRADE BELOW ALL PLANTERS SHALL BE 1" BELOW ADJACENT HEADER, PAVING, CURBING, ETC.
- GROUNDCOVER AND/OR DG SHALL EXTEND UNDER SHRUBS UNLESS NOTED.
- ALL EARTHWORK IS TO BE DONE SO THAT ALL WATER DRAINS AWAY FROM ALL STRUCTURES.
- ALL UNDERGROUND CONDUITS/PIPES/UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SLEEVING WHETHER IT IS SHOWN ON THE PLANS OR NOT.
- ADJUST NEW LANDSCAPE TO ACCOMMODATE EXISTING LANDSCAPE TO REMAIN.
- LANDSCAPE CONTRACTOR RESPONSIBLE TO MAINTAIN EXISTING PLANT MATERIAL TO REMAIN IN GOOD, HEALTHY CONDITION DURING CONSTRUCTION.
- ANY EXISTING PLANT MATERIAL NOT SHOWN TO REMAIN IS TO BE REMOVED BY CONTRACTOR.
- ALL STEEL HEADER TO BE 1/8" THICK COLD ROLL STEEL 4" HIGH.

EXIST. CONDITIONS GENERAL NOTES

- ALL PLANT MATERIAL DESIGNATED AS "EXIST TO REMAIN" SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION. ANY TREE THAT DIES DUE TO LACK OF WATER, MAINTENANCE OR CARE, NEGLIGENCE OR VANDALISM SHALL BE REPLACED BY A LIKE TYPE TREE, 48" BOX MIN. AT NO ADDITIONAL COST TO THE OWNER.
- ALL SHRUBS/GOVERS SHALL BE REPLACED W/ 5 GAL PLANTS.
- LANDSCAPE AREAS DISTURBED BY NEW CONSTRUCTION SHALL BE REPLACED W/ NEW DG MATCHING EXISTING. BLEND ALL DISTURBED AREAS SO THERE IS SMOOTH TRANSITION BETWEEN ALL EDGES.
- ANY/ALL BROKEN HEADERS TO BE REPLACED.
- ALL EXISTING PLANT MATERIAL AND ADJACENT PLANT MATERIAL SHALL HAVE UNINTERRUPTED WATERING DURING ALL PHASES OF CONSTRUCTION. THIS SHALL INCLUDE BUT NOT BE LIMITED TO; HAND WATERING, TRUCK WATERING, TEMPORARY SYSTEM, ETC.
- THE EXISTING IRRIGATION SYSTEM SHALL BE PROTECTED, MAINTAINED AND REPAIRED DURING ALL PHASES OF CONSTRUCTION. THE EXISTING SYSTEM IS TIED TO ADJACENT PROPERTIES. ALL EQUIPMENT SUCH AS MAINLINE, WIRES, LATERALS, HEADS, EMITTERS, ETC SHALL BE REPAIRED/REPLACED AS REQ TO MAINTAIN CONTINUOUS WATER.
- ALL EXISTING TREES TO REMAIN SHALL BE SELECTIVELY PRUNED PER LANDSCAPE ARCHITECT DIRECTION.

LANDSCAPE SITE DATA (MAJOR B ONLY)

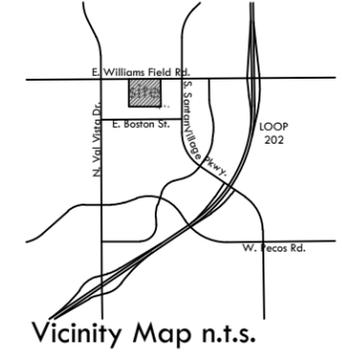
TOTAL NET SITE AREA	52,345	SQ. FT.	1.2	AC.
SQUARE FOOTAGE OF ON-SITE LANDSCAPING	2,180	SQ. FT.	4.2	% OF SITE
SQUARE FOOTAGE OF PUBLIC RIGHT-OF-WAY LANDSCAPING	0	SQ. FT.	0	% OF SITE
SQUARE FOOTAGE OF ON-SITE & ROW LANDSCAPING	2,180	SQ. FT.		

DR18-145 SanTan Pavilions Phase VII - Ashley Furniture Homestore
Attachment 3: Landscape
September 5, 2018



730 N. 52nd St. Ste. 203
 Phoenix, Arizona 85008
 P 602.393.5060

CawleyArchitects.com



SAN TAN PAVILLIONS PHASE VII
ASHLEY FURNITURE HOMESTORE GILBERT

SWC SAN TAN VILLAGE PKWY & WILLIAMS FIELD RD
 GILBERT ARIZONA

DATE 07.25.18
 DR SUBMITTAL 07-26-2018

PLANTING PLAN

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Project - ASHG

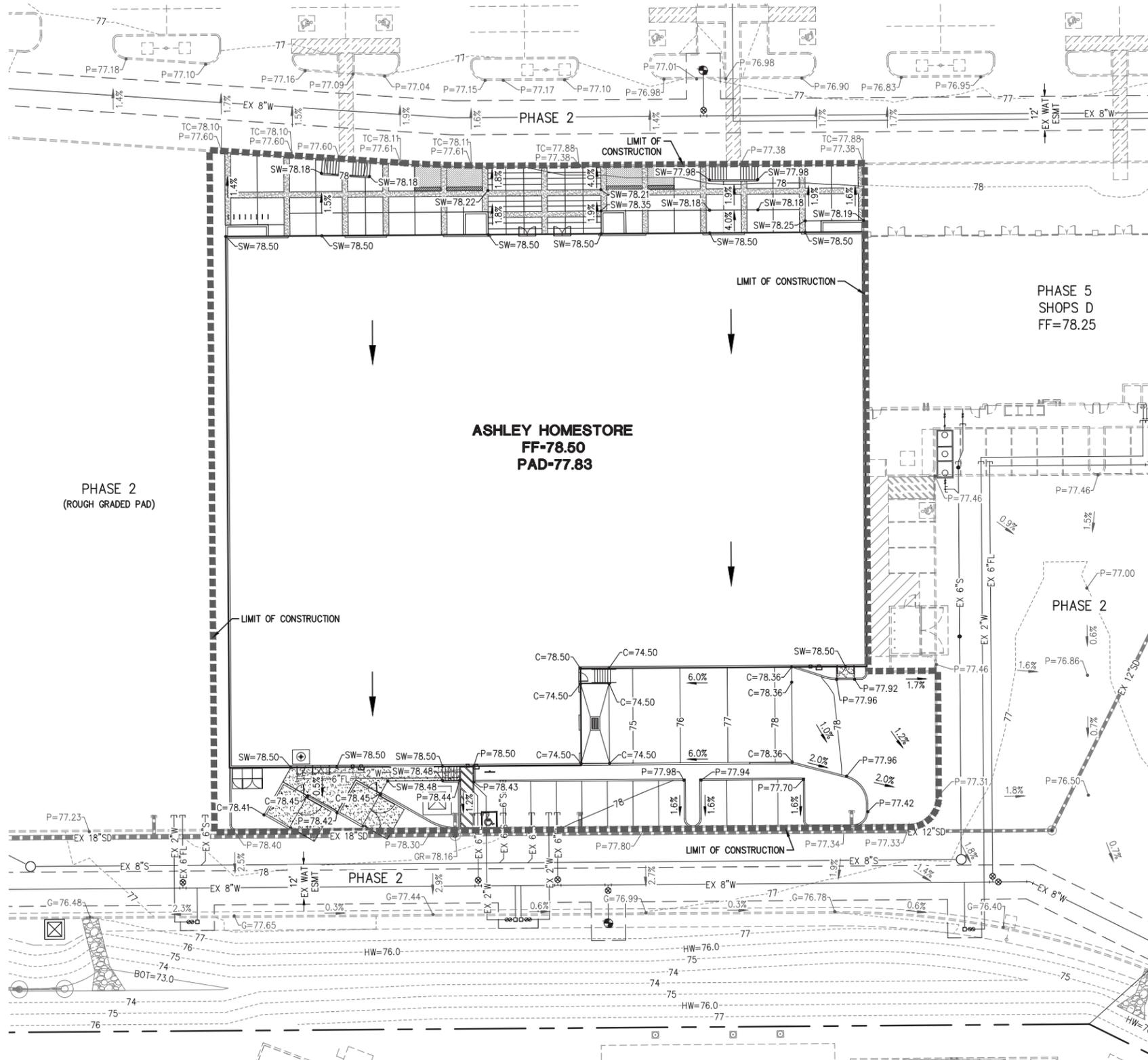


SANTAN PAVILIONS PHASE VII ASHLEY FURNITURE HOME STORE

PRELIMINARY GRADING AND DRAINAGE PLAN

GILBERT, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 6 EAST,
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



DEVELOPER

HODGDON GROUP REALTY, INC.
HMC CONSTRUCTION, INC.
1461 E. COOLEY DRIVE, STE 230
COLTON, CALIFORNIA 92324
PHONE: (909) 783-3020
CONTACT: AARON W. HODGDON

ARCHITECT

CRAWLEY ARCHITECTS
730 NORTH 52ND STREET, STE 203
PHOENIX, AZ 85008
PHONE: (602) 393-5060
CONTACT: JEFF DUCAV

ENGINEER

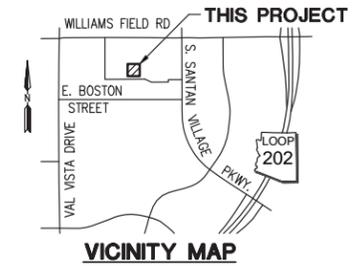
HILGARTWILSON
2141 E. HIGHLAND AVE, STE #250
PHOENIX, ARIZONA 85016
PHONE: (602) 490-0535
FAX: (602) 368-2436
CONTACT: CASEY WHITEMAN

BENCHMARK

BENCHMARK IS A FOUND 3" TOWN OF GILBERT
BRASS CAP FLUSH LOCATED AT THE EAST
QUARTER CORNER OF SECTION 33, T1S, R6E
OF THE G&SRM
ELEVATION: 1286.13'
DATUM: NAVD88

FLOOD ZONE DESIGNATION

THE SUBJECT PROPERTY LIES WITHIN SHADED ZONE "X" WITH A DEFINITION OF: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. DESIGNATION DETERMINED BY FEMA FLOOD ZONE MAP 04013C2742M, PANEL NUMBER 2742 OF 4425, & MAP 04013C2765M, PANEL NUMBER 2765 OF 4425, EFFECTIVE DATE NOVEMBER 4, 2015.

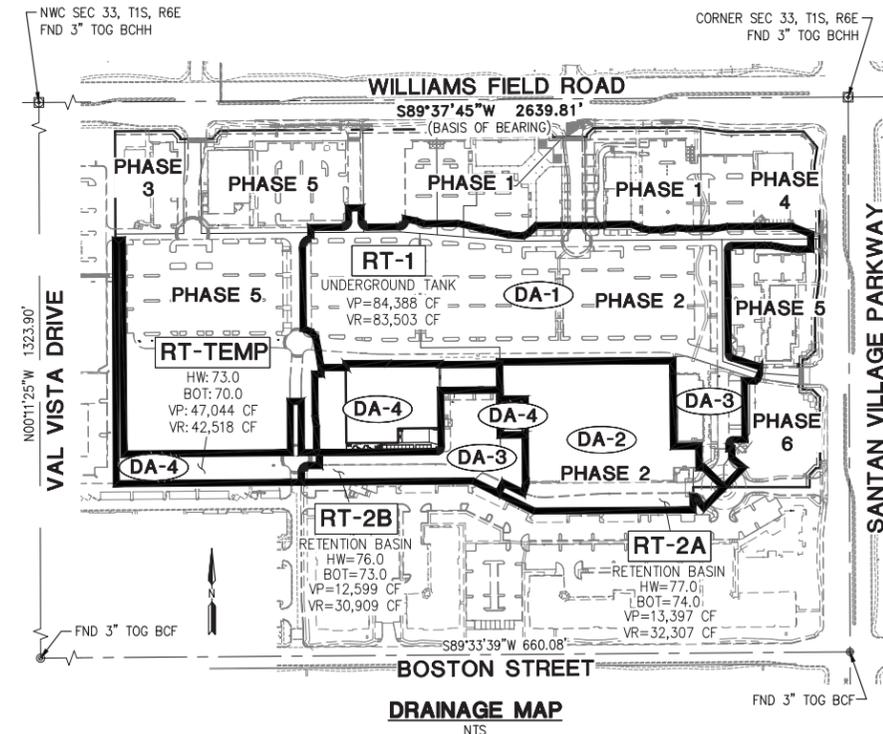


SITE AREA (NET)

53,737 SF / 1.23 AC

BASIS OF BEARING

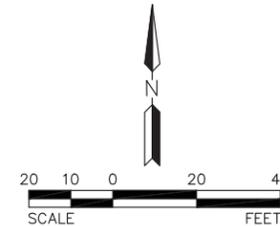
BASIS OF BEARING IS S89°37'45"W ALONG THE
NORTH LINE OF THE NORTHWEST QUARTER OF
SECTION 33, TOWNSHIP 1 SOUTH, RANGE 6
EAST OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA.



DRAINAGE NOTE:
PROPOSED CONSTRUCTION FALLS WITHIN DRAINAGE AREA DA-1 AND DA-4. RETENTION VOLUME FOR THESE AREAS WAS PROVIDED DURING PHASE 2 VIA UNDERGROUND STORAGE TANKS AND RETENTION BASINS OF THE SAN TAN PAVILIONS CONSTRUCTION DOCUMENTS. SEE PHASE 2 IMPROVEMENT PLANS BY HILGARTWILSON JOB #1555 FOR ADDITIONAL INFORMATION.

LEGEND

- PROPERTY LINE
- CENTER LINE
- - - EASEMENT LINE
- FF= FINISH FLOOR ELEVATION
- FLOW ARROWS
- EXISTING FLOW ARROWS
- - -74- EX. CONTOURS
- 74- CONTOURS



REV.:

HILGARTWILSON
ENGINEER | PLANNING | SURVEY | MANAGEMENT
2141 E. HIGHLAND AVE., STE. 250 | P. 602.490.0535 / F. 602.368.2436
PHOENIX, AZ 85016
www.hilgartwilson.com



SANTAN PAVILIONS PHASE VII ASHLEY FURNITURE HOME STORE
SWC WILLIAMS FIELD ROAD & SAN TAN VILLAGE PARKWAY
GILBERT, ARIZONA
PRELIMINARY GRADING AND DRAINAGE PLAN

HILGARTWILSON
PROJ NO.: 1555.04
DATE: JULY 2018
SCALE: 1" = 20'
DRAWN: JW
DESIGNED: JW
APPROVED: CW
DWG. NO.
PG01
SHT. 1 OF 1

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DR18-145 SanTan Pavilions Phase VII -
Ashley Furniture Homestore
Attachment 4: Grading and Drainage
September 5, 2018

SANTAN PAVILIONS PHASE VII ASHLEY FURNITURE HOME STORE

PRELIMINARY UTILITY PLAN

GILBERT, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 6 EAST,
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

DEVELOPER

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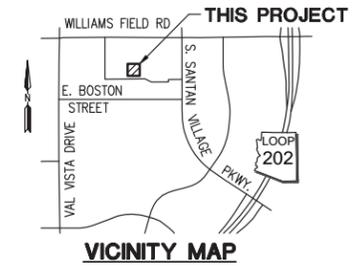
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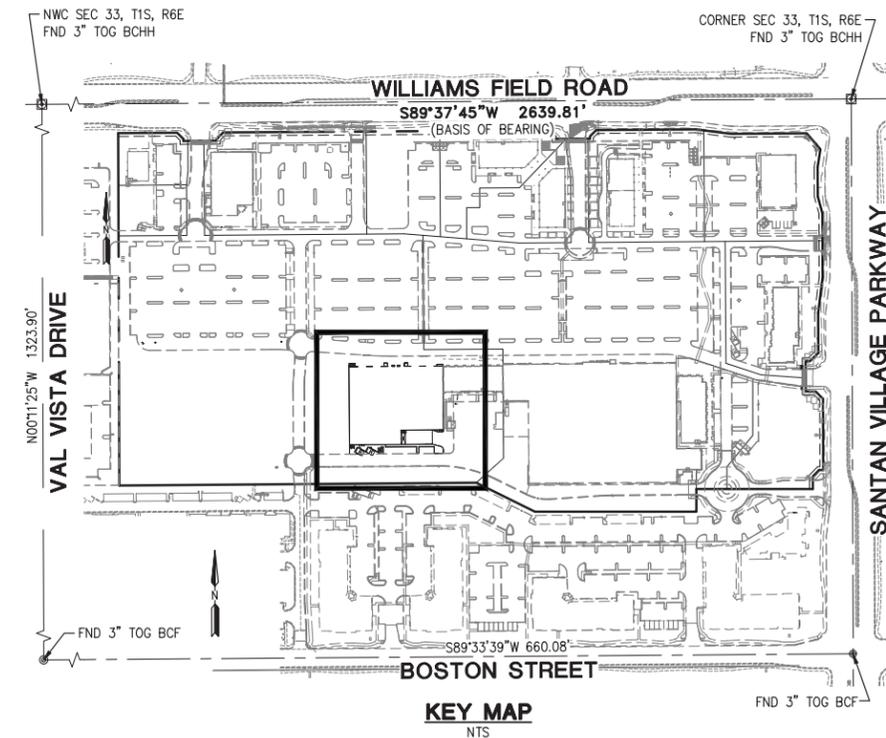
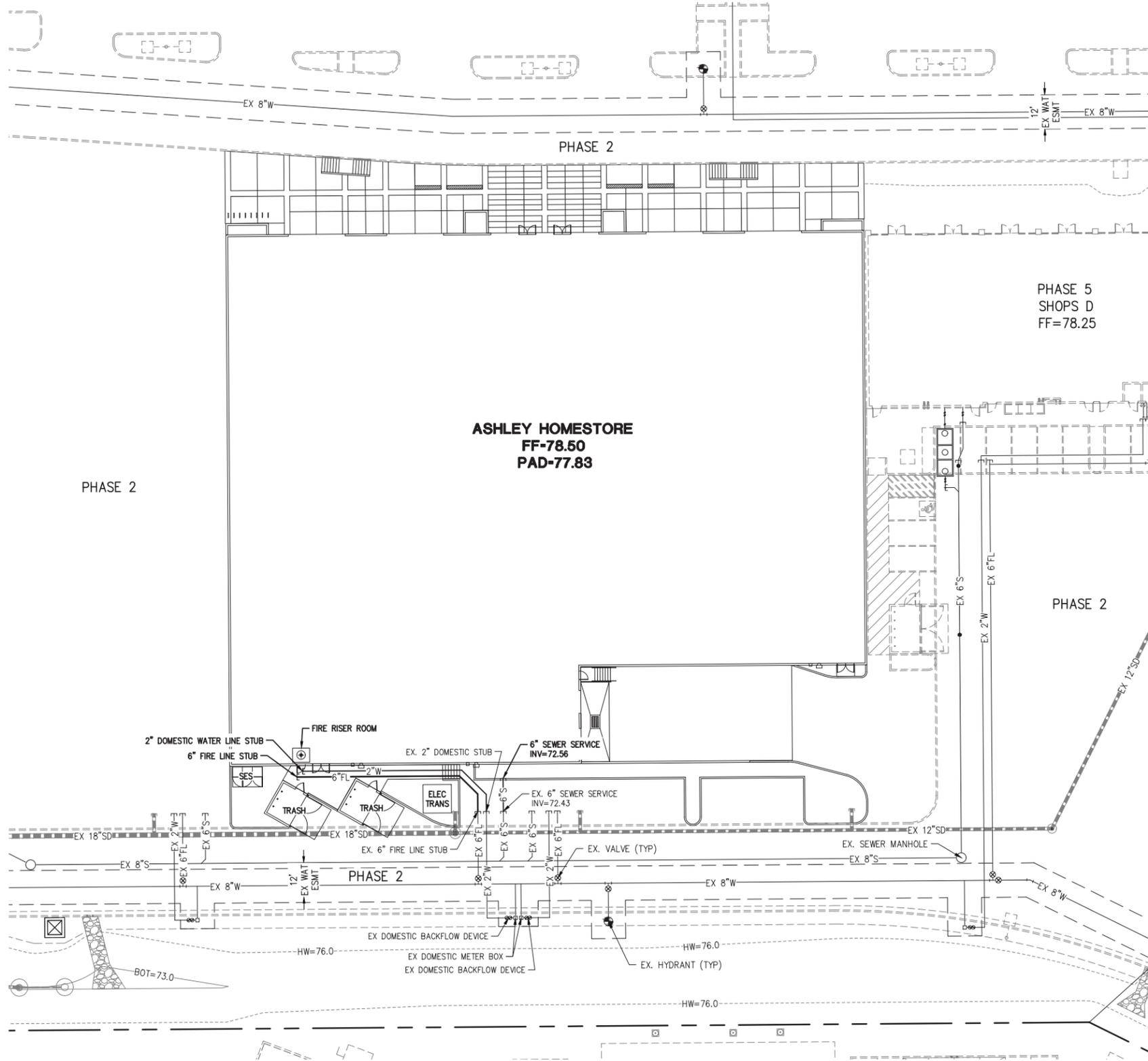


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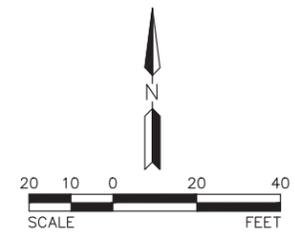
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LEGEND

- PROPERTY LINE
- - - CENTER LINE
- - - EASEMENT LINE
- 8" S 8" SEWER LINE
- 6" S 6" SEWER LINE
- 8" W 8" WATER LINE
- 6" W 6" WATER LINE
- 2" W 2" WATER LINE
- FIRE HYDRANT (FH)
- WATER VALVE
- WATER METER
- BACKFLOW PREVENTER (BFP)
- SEWER MANHOLE (MH)



REV.:

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SANTAN PAVILIONS PHASE VII ASHLEY FURNITURE HOME STORE
SWC WILLIAMS FIELD ROAD & SANTAN VILLAGE PARKWAY
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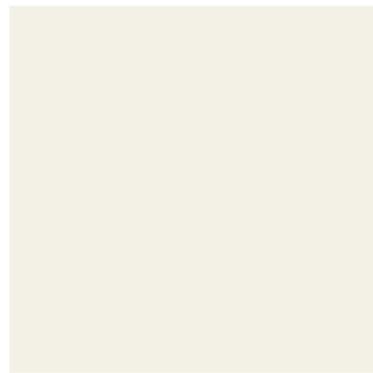
PRELIMINARY UTILITY PLAN

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	DRAWN: JW
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	PU01
	SHT. 1 OF 1

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① **Material:** Paint
 Manufacturer: Sherwin-Williams
 Color: 'Software'
 Color Number: SW7074



② **Material:** Paint
 Manufacturer: Dunn Edwards
 Color: 'Antique Paper'
 Color Number: DE6218



③ **Material:** Paint
 Manufacturer: Dunn Edwards
 Color: 'Gray Pearl'
 Color Number: DEC795



④ **Material:** Paint
 Manufacturer: Dunn Edwards
 Color: 'Iron Fixture'
 Color Number: DE6384



GI **Material:** Insulated Glazing
 Manufacturer: VITRO
 Color: 'Clear Reflective'
 Refer to A7 Building Elevation
 Sheets for Glass specification



FI **Material:** Pre-Finished Storefront
 Manufacturer: Arcadia
 Color: 'Dark Bronze Anodized'



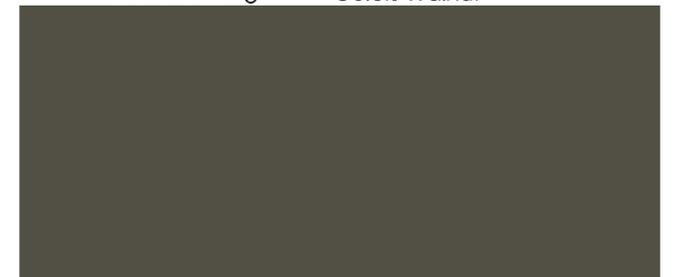
EIFS **Material:** Exterior Insulated Finish System
 Color: As noted



BV **Material:** Block Veneer
 Manufacturer: Trendstone
 Color: Black Canyon



CW **Material:** Composite Wood Cladding
 Manufacturer: Moisture Shield
 Color: Walnut



MC **Material:** Metal Cap
 Manufacturer: Rollfab Pro Finish 500
 Color: Pre-Finished Dark Bronze

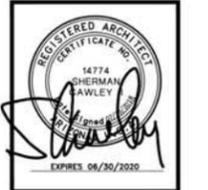


SAN TAN PAVILIONS PHASE VII
 ASHLEY FURNITURE HOMESTORE
 SWC SAN TAN VILLAGE PKWY & WILLIAMS FIELD RD
 GILBERT, AZ 85295

JULY 26, 2018



The Artist Rendering & Material Specifications are for conceptual design only and should not be referred to as a construction document - See A7 Building Elevation Sheets for actual specifications



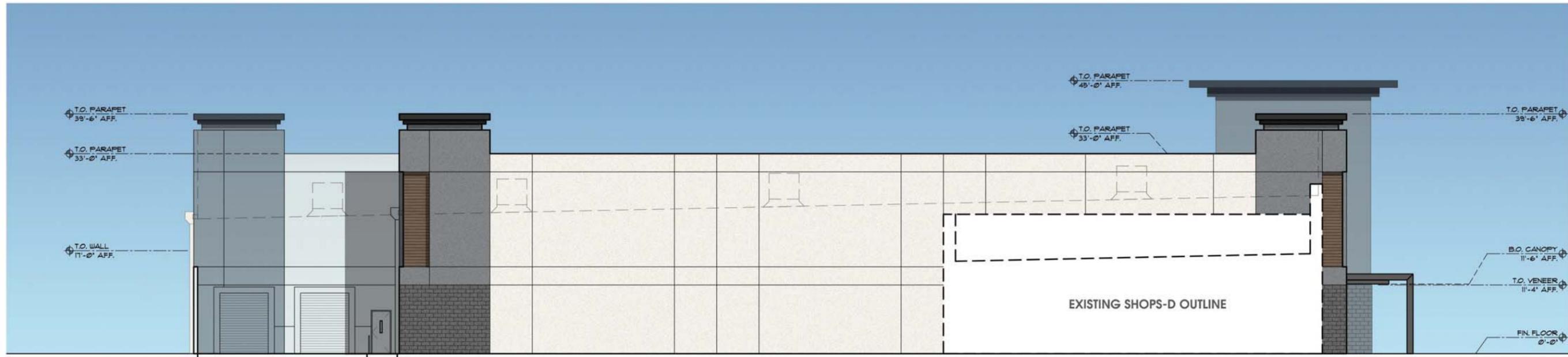
SAN TAN PAVILLIONS PHASE VII
ASHLEY FURNITURE HOMESTORE GILBERT

SWC SAN TAN VILLAGE PKWY & WILLIAMS FIELD RD GILBERT ARIZONA

DATE
DR SUBMITTAL
07-26-2018



NORTH ELEVATION



EAST ELEVATION

COLOR KEY

KEY	MANUF. - DUNN EDWARDS (DE) / SHERWIN WILLIAMS (SW) COLOR NAME
①	'SOFTWARE' SW7014
②	'ANTIQUE PAPER' DE6218
③	'GRAY PEARL' DEC795
④	'IRON FIXTURE' DE6384

1. SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
2. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
3. G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
4. G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES [F]	DARK BRONZE ANODIZED ALUMINUM
GLAZING [G]	1" INSULATED CLEAR REFLECTIVE
INSULATED GLAZING SYSTEM SPECIFICATION	
OLDCASTLE - 1" INSULATED GLAZING SYSTEM	
U-FACTOR: 0.29	
SOLAR HEAT GAIN COEFFICIENT (SHGC) : 0.23	
OUTBOARD: 1/4" VITRO SOLARBAN 100VT CLEAR (SRF #2)	
AIRSPACE: 1/2" (AIR FILL)	
INBOARD: 1/4" CLEAR	

1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.

MATERIAL KEY

MATERIAL	DESCRIPTION
EP8	EXTERIOR INSULATED FINISH SYSTEM (SMOOTH)
BV	BLOCK VENEER TRENDSTONE 'BLACK CANYON'
GW	COMPOSITE WOOD CLADDING MOISTURE SHIELD 'WALNUT'
SC	STEEL CANOPY
MC	ROLLFAB PRO FINISH 500 METAL CAP
PB	PRE-FINISHED 'DARK BRONZE' CONCRETE PRE-CAST BASE

GENERAL NOTES

1. SEE STRUCTURAL FOR LINTEL INFORMATION.
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONTROL JOINTS.
4. BUILDING SIGN IS UNDER SEPARATE PERMIT AND SHOWING FOR REFERENCE ONLY.

MATERIAL SAMPLE APPROVAL

1. PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (i.e. PAINTED CMU, ETC.)
2. ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ONSITE IN SIZES OF NO LESS THAN 12" X 12".

EXTERIOR ELEVATIONS



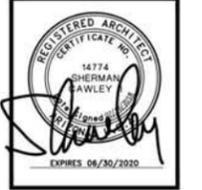
NOTICE OF ALTERNATE BILLING CYCLE

The contract allows the owner to require submission of billings or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to the project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide the written description upon request.

The architectural design and data presented in these documents is an instrument of service provided by Cawley Architects.

All discrepancies found in these documents or conflicts between these documents and actual field conditions shall be reported to Cawley Architects for resolution prior to commencement of the work.

Discrepancies between bid amounts and these documents shall be reported to the General Contractor prior to commencement of work.



SAN TAN PAVILLIONS PHASE VII
ASHLEY FURNITURE HOMESTORE GILBERT

SWC SAN TAN VILLAGE PKWY & WILLIAMS FIELD RD GILBERT ARIZONA

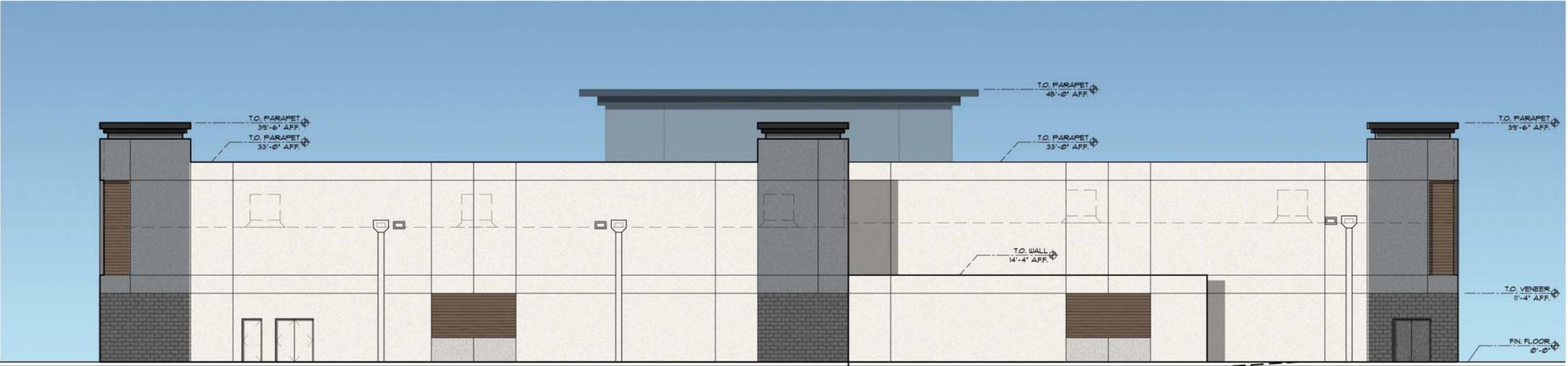
DATE
 DR SUBMITTAL
 07-26-2018

NOTICE OF ALTERNATE BILLING CYCLE:
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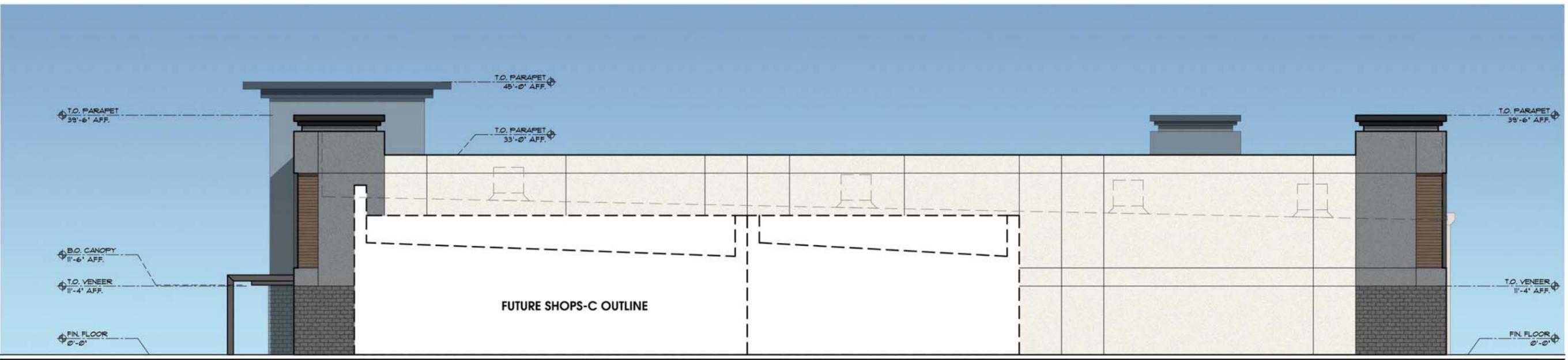
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All discrepancies found in these documents or conflicts between these documents and actual field conditions shall be reported to Cawley Architects for resolution prior to commencement of the work.

Discrepancies between bid amounts and these documents shall be reported to the lowest Contractor prior to commencement of work.



SOUTH ELEVATION



WEST ELEVATION

COLOR KEY

KEY	MANUF. - DUNN EDWARDS (DE) / SHERWIN WILLIAMS (SW) COLOR NAME:
①	'SOFTWARE' SW1014
②	'ANTIQUE PAPER' DE6218
③	'GRAY PEARL' DEC795
④	'IRON FIXTURE' DE6384

- SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
- PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
- G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL. G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.
-

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES (F)	DARK BRONZE ANODIZED ALUMINUM
GLAZING (G)	1" INSULATED CLEAR REFLECTIVE

INSULATED GLAZING SYSTEM SPECIFICATION
 OLDCASTLE - 1" INSULATED GLAZING SYSTEM
 U-FACTOR: 0.29
 SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.23
 OUTBOARD: 1/4" VITRO SOLARBAN 100VT CLEAR (SRF 12)
 AIRSPACE: 1/2" (AIR FILL)
 INBOARD: 1/4" CLEAR

- 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
- SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.

MATERIAL KEY

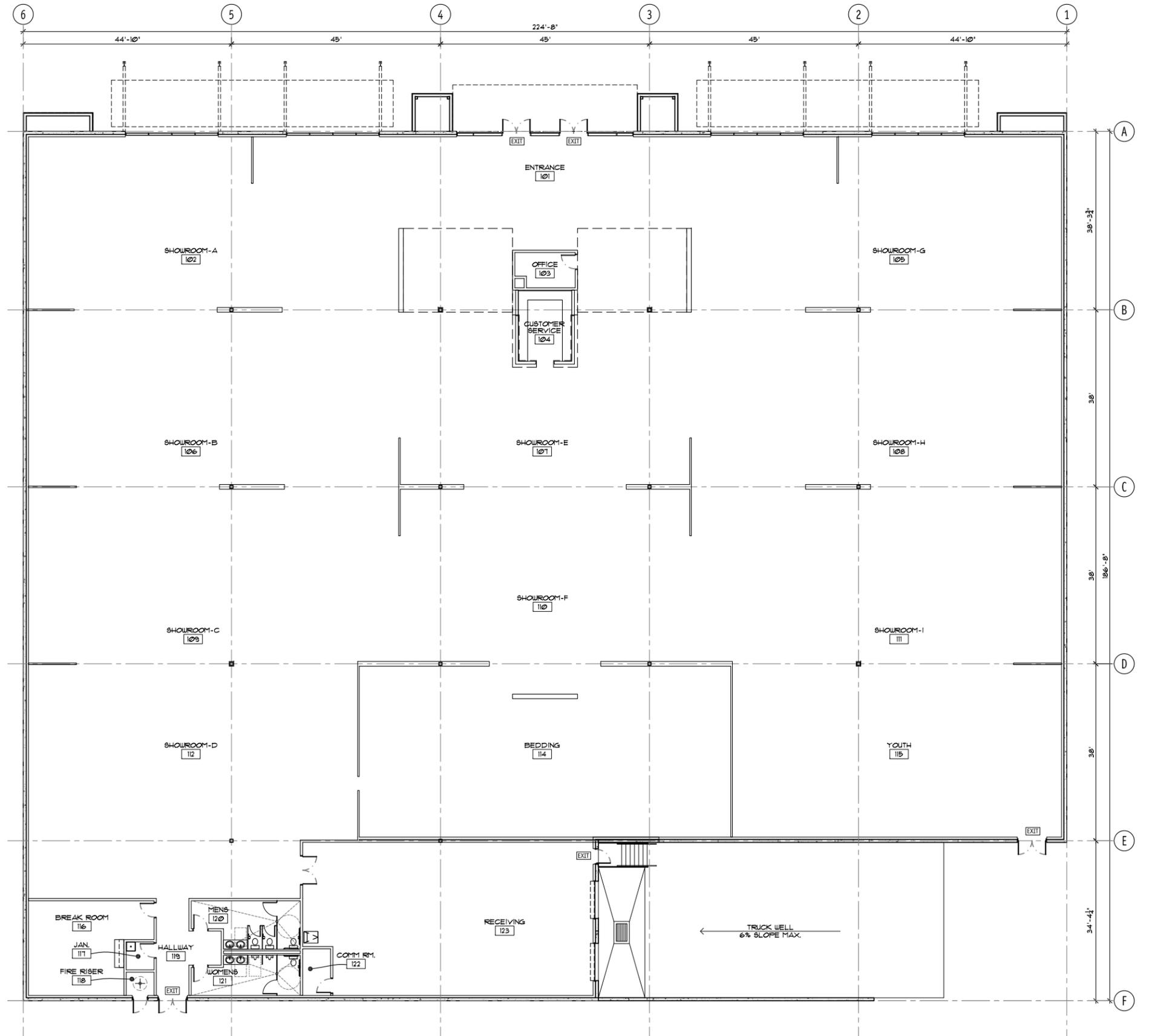
MATERIAL	DESCRIPTION
EIFS	EXTERIOR INSULATED FINISH SYSTEM (SMOOTH)
BY	BLOCK VENEER TRENDSTONE 'BLACK CANYON'
GW	COMPOSITE WOOD CLADDING MOISTURE SHIELD 'WALNUT'
SC	STEEL CANOPY
MC	ROLLFAB PRO FINISH 500 METAL CAP PRE-FINISHED 'DARK BRONZE'
PB	CONCRETE PRE-CAST BASE

- GENERAL NOTES**
- SEE STRUCTURAL FOR LINTEL INFORMATION.
 - SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
 - SEE STRUCTURAL FOR CONTROL JOINTS.
 - BUILDING SIGN IS UNDER SEPARATE PERMIT AND SHOWING FOR REFERENCE ONLY.

- MATERIAL SAMPLE APPROVAL**
- PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (i.e. PAINTED CMU, ETC.)
 - ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ONSITE IN SIZES OF NO LESS THAN 12" X 12".

EXTERIOR ELEVATIONS





GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF CONCRETE TILT-UP AND STUDS AND CENTERLINE OF COLUMN UNO.
2. REFER TO MECHANICAL, PLUMBING, FIRE SUPPRESSION AND ELECTRICAL DRAWINGS FOR ALL EQUIPMENT LOCATIONS DIMENSIONS, AND OTHER REQUIREMENTS.
3. WHERE FLOORING MATERIALS CHANGE, THE CHANGE IS TO OCCUR AT THE CENTERLINE OF THE DOOR. FLOAT FLOOR AS REQUIRED PRIOR TO INSTALLATION OF FLOOR COVERING.
4. MAINTAIN A MINIMUM OF 48" CLEAR UNOBSTRUCTED EMERGENCY EXIT AISLE TO DESIGNATED EXITS.
5. PROVIDE LEVEL FLOOR OR LANDING ON EACH SIDE OF ALL DOORS. THRESHOLD SHALL BE LESS THAN 1/2" HIGH & BEVELED 1:2.

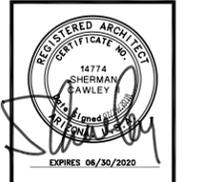
DRAWING LEGEND

- 1-3/4 CONCRETE TILT-UP PANEL WALL W/ 6' FURRING WALL
- DOOR NUMBER
- WINDOW TYPE
- SECTION NUMBER BUILDING SECTION
- DETAIL NUMBER DETAIL KEY
- GRID BUBBLE
- ROOF ACCESS LADDER
- FIRE RISER
- WINDOW / DOOR CANOPY
- TRUCK WELL TRENCH DRAIN



730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P. 602.393.5060

CawleyArchitects.com



SAN TAN PAVILIONS PHASE VII
ASHLEY FURNITURE HOMESTORE GILBERT

SWC SAN TAN VILLAGE PKWY & WILLIAMS FIELD RD
GILBERT ARIZONA

DATE

DR SUBMITTAL
07-26-2018

NOTICE OF ALTERNATE BILLING CYCLE:
The contract allows the owner to require submission of billings or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide this written description upon request.

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All discrepancies found in these documents or conflicts between these documents and actual field conditions shall be reported to Cawley Architects for resolution prior to commencement of the work.

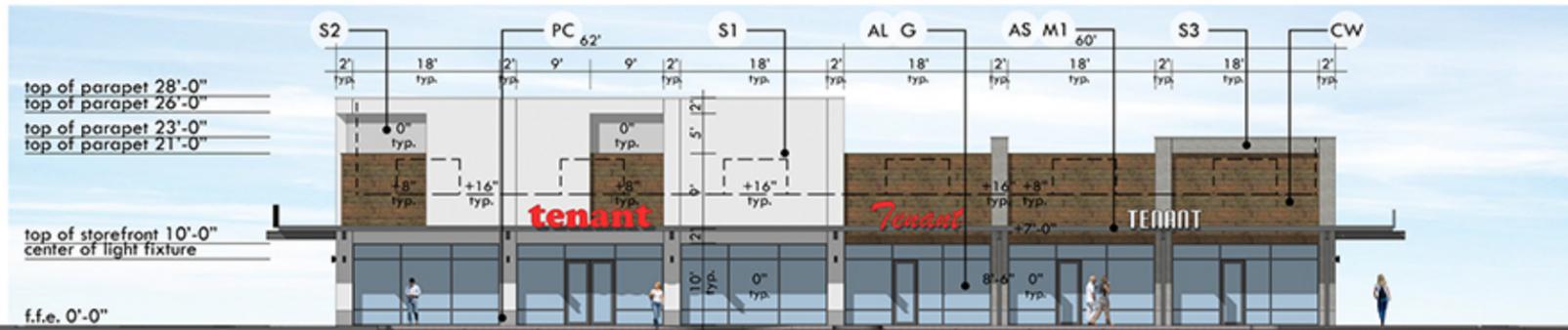
Discrepancies between bid amounts and these documents shall be reported to the General Contractor prior to commencement of work.

Project - ASH-G

A2.1

DR18-145 SanTan Pavilions Phase VII - Ashley Furniture Homestore
Attachment 7: Floor Plans
September 5, 2018

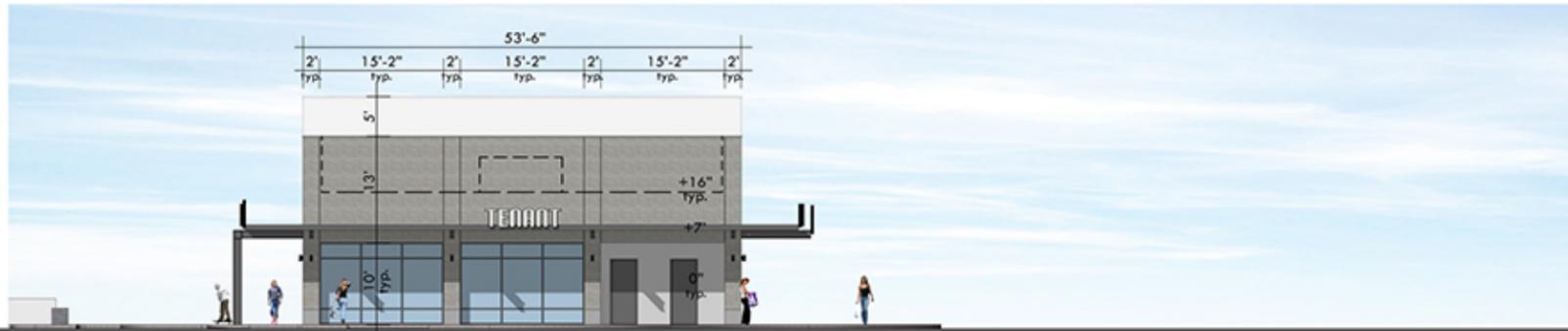




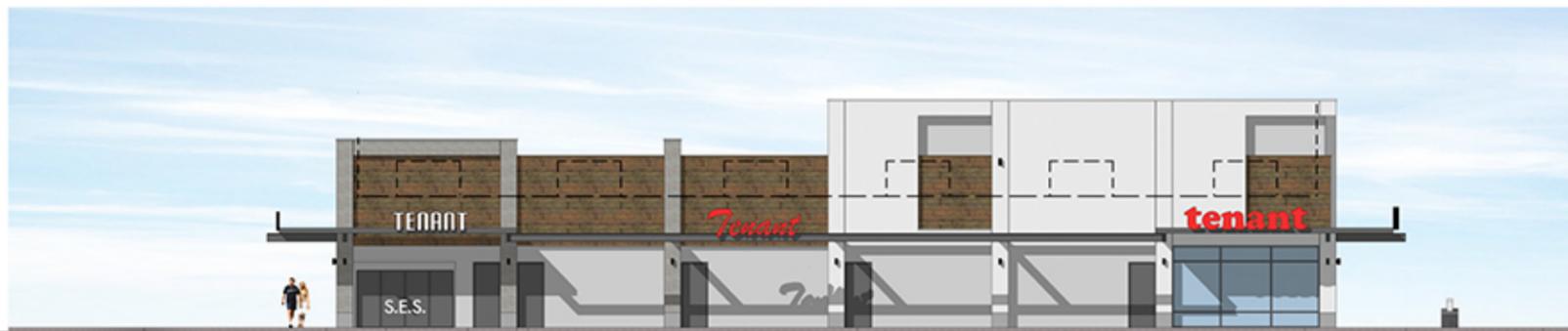
north elevation 1" = 10'-0"

MATERIALS

- AL: aluminum store front Kawneer "Dark Bronze No. 40"
- G: clear glazing
- PC: precast concrete "Natural Gray"
- AS: architectural shade screen
- M1: paint on metal DE6384 "Iron Fixture"
- S1: paint on synthetic stucco DE6218 "Antique Paper"
- S2: paint on synthetic stucco DEC795 "Gray Pearl"
- S3: paint on synthetic stucco SW7074 "Software"
- CW: composite wood cladding Moisture Shield "Walnut"



west elevation 1" = 10'-0"



south elevation 1" = 10'-0"



east elevation 1" = 10'-0"



San Tan Pavilions

SWC San Tan Village Pkwy & Williams Field Rd
Town of Gilbert, Arizona

- ▲ Development Review Set
- △ Bid Set
- △ City Submittal
- △ Construction Set

Revisions:

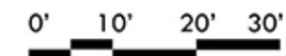
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Seal
Date: July 25, 2018
Project Number: 519
Drawn by: dm/rdb
Sheet Number

A3.1

Shops K Elevations





North & East Elevation



South & West Elevation



South & East Elevation



North & West Elevation



San Tan Pavilions

SWC San Tan Village Pkwy & Williams Field Rd
Town of Gilbert, Arizona

- ▲ Development Review Set
- △ Bid Set
- △ City Submittal
- △ Construction Set

Revisions:

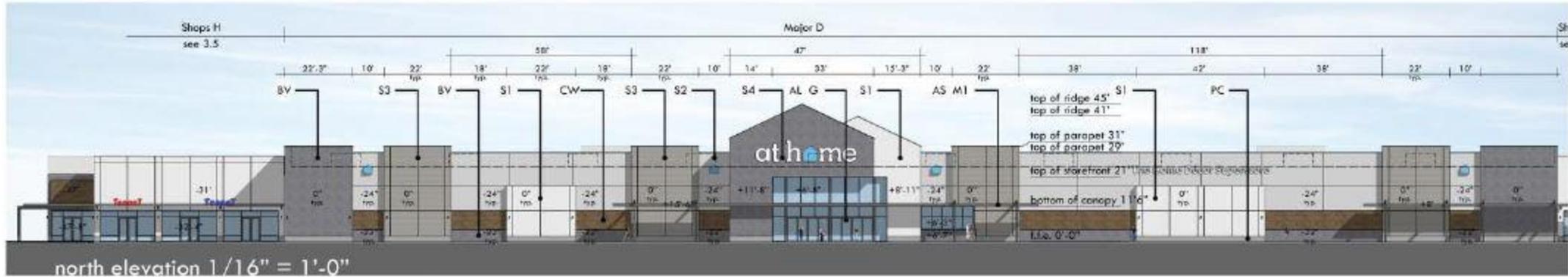
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Seal
Date: July 25, 2018
Project Number: 519
Drawn by: dm/rdb
Sheet Number

A4.1

Shops K Renderings

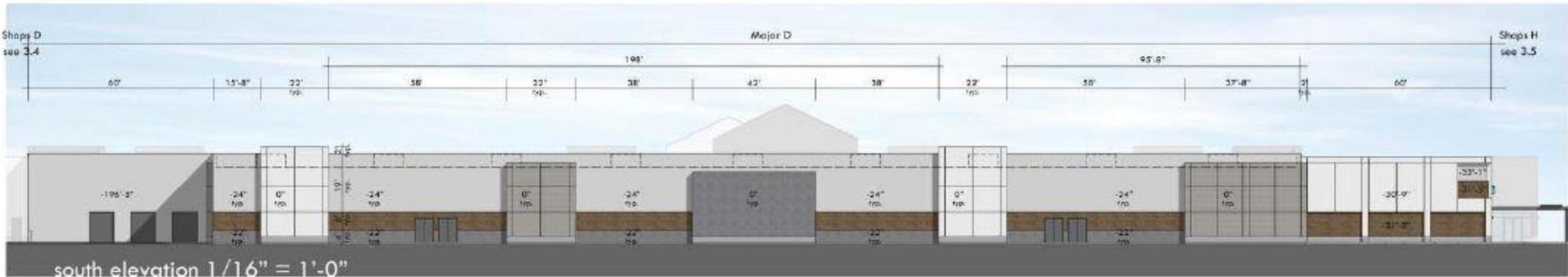


MATERIALS

- AL: aluminum store front Kawneer "Dark Bronze No. 40"
- G: clear glazing
- PC: precast concrete "Natural Gray"
- AS: architectural shade screen
- S1: paint on synthetic stucco DE6218 "Antique Paper"
- S2: paint on synthetic stucco DEC795 "Gray Pearl"
- S3: paint on synthetic stucco SW7074 "Softsware"
- CW: composite wood cladding Moisture Shield "Walnut"
- BV: block veneer Trendstone "Block Canyon"
- M1: paint on metal DE6384 "Iron Fixture"



east elevation 1/16" = 1'-0"



south elevation 1/16" = 1'-0"



San Tan Pavilions

SWC San Tan Village Pkwy & Williams Field Rd
Town of Gilbert, Arizona

- Development Review Set
- Site Set
- City Submittal
- Construction Set

Revisions:

Ownership of Instruments of Service:

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Title:

Date: February 10, 2017

Project Number: 514

Drawn by: A. J. [unclear]

Sheet Number:

A3.7

elevations major D

