

APPENDIX F

RESIDENTIAL DESIGN AND DEVELOPMENT GUIDELINES FOR LOW AND
MEDIUM DENSITY SUBDIVISIONS
(Ord. No. 1248, 02-15-00)

PURPOSE AND GOALS

The Residential Design and Development Guidelines were prepared to promote the creation of livable neighborhoods through better design of Gilbert's residential areas. The Guidelines will be a basis for design and development decisions of the Town Council. The guidelines are intended to:

- Apply to all projects filed for pre-application conference on or after August 1, 1996.
- Respond to the residential area design policies stated in the Gilbert General Plan by providing standards to achieve the quality of design stated in the Plan. Establish the framework to implement the regulatory requirements of the Unified Land Development Code.
- Identify a range of standards (safety, privacy, image and character) that produce appealing and cohesive neighborhoods.
- Assist land planners and developers in producing creative designs for new residential communities. Create neighborhoods where high levels of energy efficiency is achieved by: proper lot orientation, use of reclaimed water to irrigate open spaces, and applying heat control measures to houses design.
- Be illustrative and user friendly for citizens, developers, professionals, public officials and staff to use and apply.

The intent is in no way to limit or restrain the designer's creativity, but rather provide background and support. Instead, the guidelines are intended to direct creativity to achieve innovative design style distinguishable and specific to Gilbert.

GENERAL DEVELOPMENT GOALS

To accomplish the purpose of the Guidelines, it is necessary to include in this document general development goals. These goals address a wide range of desirable characteristics for the residential communities being proposed in Gilbert.

- Create residential neighborhoods that are cohesive, safe and have a human scale that promotes opportunities to socialize with neighbors.
- Promote residential developments which reflect Gilbert's historic and agrarian past. Explore other vernacular themes to create neighborhoods that differ from "the look alike" neighborhoods in other communities.
- Encourage the creation of Planned Area Developments (PAD) with a mix of high quality land uses and diverse housing types. Planned Area Developments should promote development patterns that will enhance the physical, social and economic value of an area.

- Create neighborhoods with street patterns to enhance the neighborhood atmosphere. The developer/land planner should pay special attention to the design of streets. They are a major factor in the safety and environment of a neighborhood.
- Design open space to provide functional and recreational areas for the neighborhoods and the Town. Provide adequate open space in the form of mini parks, neighborhood parks that are accessible to all residents.
- Combine proposed open space of new residential development with existing open space and recreation facilities. Design the open space to provide visual and functional links with parks, school sites (where possible), and other neighborhoods.
- Design residential products considering key ingredients to the appeal of the development. Achieve privacy by skillful integration of land planning and architecture, and at the same time strive to seek a sense of community. Envision the creation of communities not just dwelling units.

SUPPORTING REGULATORY DOCUMENTS

The Residential Design and Development Guidelines are intended to serve as an adjunct to the residential design characteristics described in the General Plan and other regulatory documents described below. In some cases the Guidelines may be more restrictive but in no case are they

intended to relax any applicable requirements of other regulatory documents. The following summary describes the sequence and scope of the supporting documents.

Users of these guidelines are encouraged to refer to the following publications for an overall understanding of the desired quality prior to submitting a formal application for a residential project:

A. GILBERT GENERAL PLAN:

Sections Addressing

- Long range vision, overall intent and the criteria to evaluate quality and conformity of projects.
- Planning considerations to identify possible configuration for Village Centers for the optimum location of residential development with other land use mixes.
- Residential area design goals and policies.

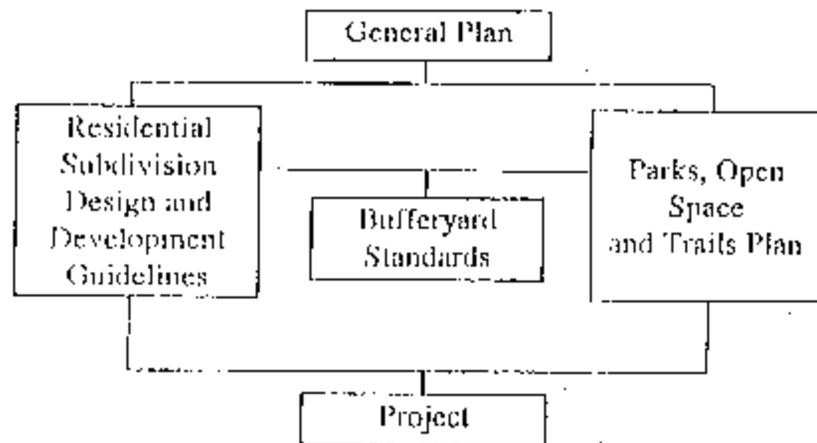
B. UNIFIED LAND DEVELOPMENT CODE:

Articles Addressing

- Residential district classifications to identify permissible uses, lot sizes, height and coverage requirements.
- Planned Area Development (PAD) Overlay Zoning District to consider certain flexibilities of project design to otherwise applicable district requirement. The project

applicant and the Town will evaluate additional quality amenities in consideration of the flexibilities conferred.

- Subdivision regulations to understand the platting procedures and requirements.



How To Use These Guidelines

The Residential Design Guidelines are comprised of five parts: *Lot and Streets Design Guidelines, Open Space and Landscaping Design, Community Character and Monumentation, Easement and Setbacks and Building Design and Architectural Character.*

The five categories listed above describe the qualitative standards for each one of the design components of a residential development.

1. LOT AND STREET DESIGN GUIDELINES

These guidelines address the recommended mix of lots according to the size of the project and the recommended standards for street patterns and physical characteristics of the site.

Low Density Residential

- For Low Density Residential (0-3 du/ac, target=2.0 du/ac) developments, a PAD may be utilized with a minimum lot size of 10,000 s.f.
- For subdivisions where the average minimum lot size meets or exceeds 35,000 s.f., and to promote the rural theme in the design of subdivisions, the following standards may be permitted if Engineering requirements are met:
 - On-site retention;
 - Ribbon curbs;
 - No sidewalks;
 - Reduced right-of-ways;
 - Flood irrigation;
 - Modified street lighting: style, spacing, levels of illumination;
 - No interior lot-line walls.

1. Medium Density Residential

C - 4 du/ac. in old General Plan

Lots of less than 7,000 square feet shall not exceed 20% of lots in the subdivision and the average lot size in a PAD shall not be less than 7,500 square feet. No other single range of lot sizes shall exceed 40% of the total count of lots. Ranges of lots shall exhibit distinct lot sizes (distinct meaning a variation of 2,000 square feet from the minimum lot size between the R1-5 and R1-7 districts, and 1,000 square feet thereafter.

- Neighborhood street patterns should reflect the transportation policies contained in the General Plan by:

Designing neighborhood street patterns which preserve neighborhood integrity, promote lower speeds, and encourage pedestrian activity. Short loops and cul de-sacs served by gentle curving collector streets, sized to carry local traffic, or

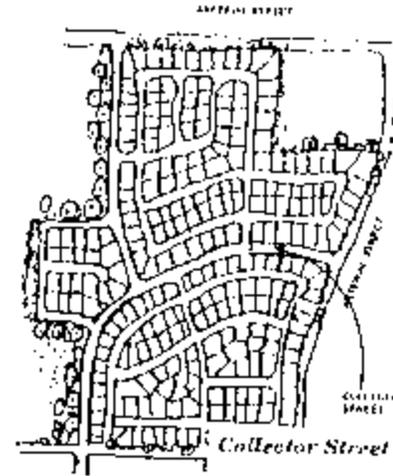
If the grid system is selected for the streets design, it should be accompanied by a street tree program that establishes a theme for the residential development proposed i.e.: Neotradition, rural, orchard etc.

- Provide T intersections in lieu of cross intersections.
- Provide an appropriate right-of-way width for each street which accommodates its character theme i.e.: reduced right of way for rural residential theme. The intent is to

make the street as pedestrian friendly as possible without compromising its function.

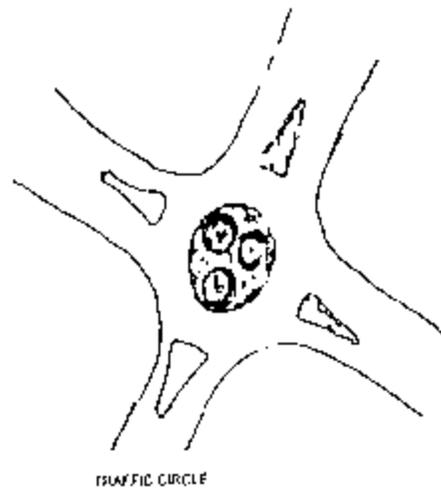
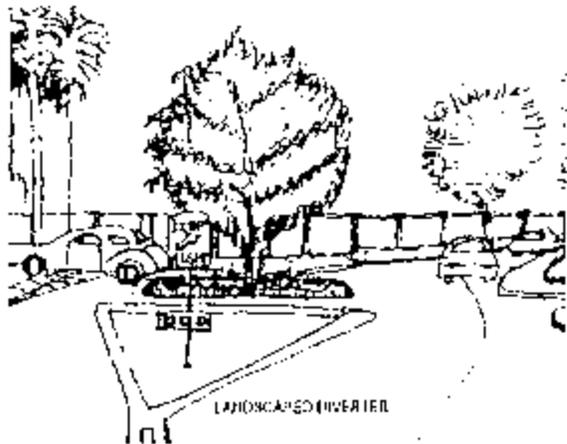
- 80' R.O.W. for major collector streets
- 66' R.O.W. for residential collector streets
- 50' R.O.W. for local streets
- 32' R.O.W. for fire access only

- Avoid linear through streets that link two or more arterial streets surrounding the subdivision(s). Consider a loop-type collector street design that sends traffic back to the same arterial the subdivision was entered from,



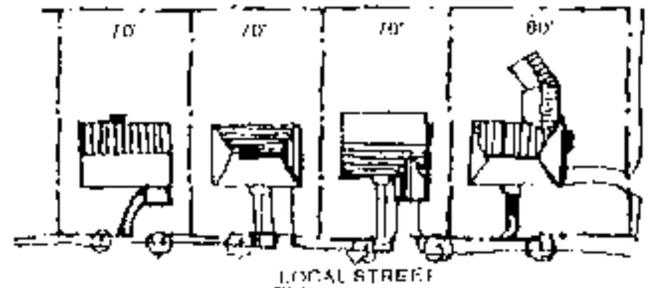
- Consider existing site conditions (i.e.: significant vegetation, surrounding context) when designing the street system.
- Provide bicycle-only lanes within collector street right-of-ways.

Residential Traffic Control Schemes



- Consider the use of various residential traffic control schemes that encourage lower vehicle speeds. Among the schemes to be considered are chokers, traffic circles and chicanes. More information on residential traffic calming can be obtained from the Town Traffic Engineer or the Planning Department. Depending on the street design, the Town may require some method of traffic calming.
- Provide cross-easements as required in order to tie into, extend existing, or create new off-site bicycle/pedestrian linkages and equestrian trails.
- Widen corner lots a minimum of ten (10) feet more than interior lots to allow for wider corner setbacks, diverse plan arrangements and unique driveway designs.

Typical Wider Corner Lot



- The design of residential development shall use creative land planning concepts which propose a specific design theme or a unique environmental character. The Town of Gilbert encourages developments which reflect the Town's historic agricultural roots.

2. OPEN SPACE AND LANDSCAPING DESIGN

This category addresses design, location and types of amenities in the open space within the development, and its relationship with other neighborhoods green areas, as well as the Town's recreation spaces.

- The preliminary plat of 20 acres or more should be accompanied by an open space program. This program should address the types of amenities and how the proposed open space relates to the existing open space in the surrounding neighborhoods. It should also address the use of open space and its relationship with the Town's trails and parks.
- When locating and designing open space, carefully consider the surrounding natural and man made elements by:
 - Designing view corridors, preserving and creating focal elements;
 - Locating open space to be visually and/or physically useable, accessible and safe;
 - Designing open space for a wide variety of activities for all ages such as: walking, sports, neighborhood events, etc.

Plan for adequate open space that provides opportunity for active and passive recreation. Adequate means:

1. Except for 20,000 square foot lots or greater, ten (10) percent of the gross project area or,
2. If the minimum 10% requested is not provided, all lot sizes must be increased by at least 15% over the area required by the zoning district.



Open Space for active and passive recreation

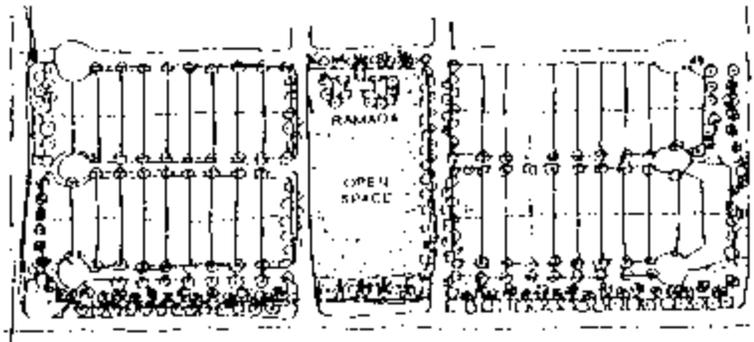


Open Space designed for a variety of activities

- Open space provided by individual lots, 20,000 s.f. or greater, may be counted toward the 10% requirement and as active open space.
- Placement of open space shall allow the opportunity for unusual siting of the houses adjacent to the open areas.
- Consider using landscape or earthscape elements such as: trees, earth berms, vegetative hedges etc. in lieu of perimeter fences to achieve the same purposes.

- The open space system in new residential developments shall encourage pedestrian circulation within and external to the project by means of landscaped greenbelts. These elements should act as connectors that link such development with the Town's major open space system. Greenbelts should connect neighborhoods in a safe and secure manner with elementary schools and commercial centers, where possible.

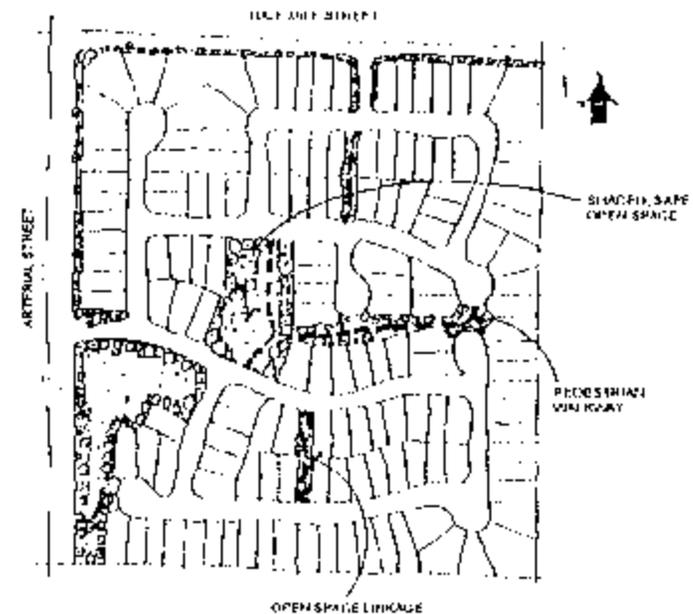
Arterial Street



Alternative To The Continuous Walled Subdivision



Open Space to be Visible, Accessible and Safe



- Open space abutting the Town's major trail system (canals, railroads, electrical transmission easements etc.) shall include these elements on the landscape concept plan at the time of preliminary plat approval. Conceptual landscaping plan to be reviewed and approved by Design Review prior Council's approval of the preliminary plat.
- Design active open space in a manner which is easily accessible to local residents. Accessible means 1/6 of a mile or 880 feet by walking or biking.
- Neighborhood parks in all residential developments shall include a variety of amenities such as tee lots, bar-b-ques, ramadas, picnic tables, ball courts, interpretive experiences, connecting sidewalks, play fields, pedestrian scale lighting etc.
- Use grading/landscaping along arterial and collector street frontages to buffer residences from traffic-generated noise and light pollution.
- Develop perimeter landscaping or areas adjacent to a linear trail to produce an interesting pedestrian experience. Break up any straight, paved sidewalks at points no longer than two hundred (200) feet with ornamental trees and shrub planting to create focal elements. Provide smooth transitions around focal plantings. Utilize the required landscape easement as additional space to separate the sidewalk from the property line (see picture at right).

- Consider buffering pedestrian walks from street curbs with a minimum three (3) foot wide landscape strip.
- Shade sidewalks by planting the required street trees to the South or West of pedestrian walks and as close to these areas as practicable.
- Landscaping/Hardscape as defined herein, shall include the following combinations: trees, shrubs, organic and inorganic ground covers, lighting, irrigation, boulders, berms, paving, and finish materials.



Use of landscape to separate sidewalk from property line

3. COMMUNITY CHARACTER/ MONUMENTATION

These guidelines address the opportunities the developer has to provide a special character to the neighborhood or district proposed through design of entry monuments, special landscaping, distinctive pavement or enhanced fence wall details

- Consider alternatives to the “continuous walled community” look, replacing it with residential buildings which face the street or create other types of attractive streetscapes. Create landscape and/or other buffer zones with interesting effects appropriate to the character of the project. This applies to arterial, collector roads, and neighborhood streets. Landscape the area between the public right-of-ways and adjacent property line with “theme landscaping” which reflects the intended character of the project.
- Design pedestrian trails, along streets and in greenbelts, to create an interesting experience which reinforces the project’s theme or character. Along streets, maximize the experience for the pedestrian:

- by encouraging 50% shade along walk ways;
- upgrading the walkway surface with decorative pavement;
- using distinctive landscaping that integrates changes in grade, boulders, and accent flowering shrubs and ground covers

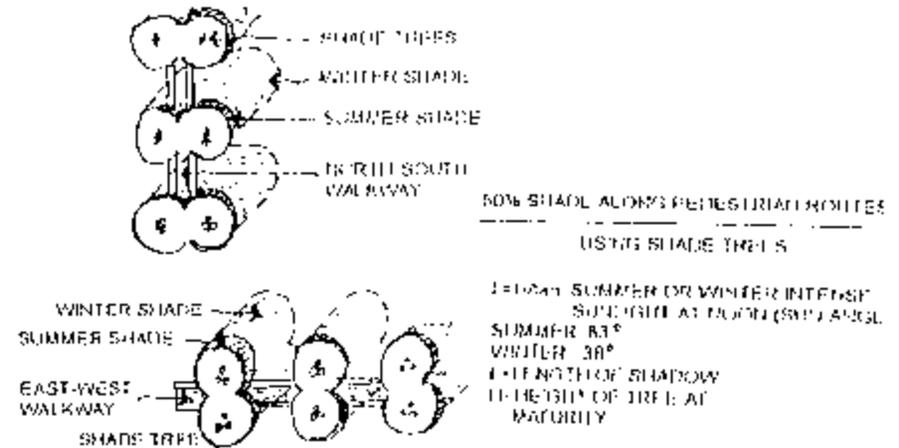
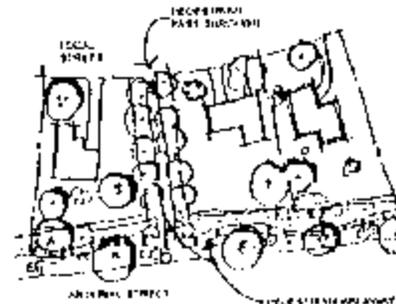


Illustration of 50% Shade along Pedestrian Routes

- If walls are used, vary heights from six (6) to eight (8) feet and stagger a minimum five (5) feet horizontally at points no longer than two-hundred and fifty (250) foot sections (Building Safety approval required.)
- In walled neighborhoods, establish pass-throughs designed in a safe and secure manner where permissible, at 600 foot intervals to destinations such as neighborhood parks, trails, elementary schools and neighborhood shopping.

Pedestrian Linkage



- Perimeter walls adjacent to arterial, collector streets and open space tracts shall be constructed of textured (split-face, single-score, fluted, etc.) integrally-colored concrete block. Wrought iron or painted steel railing view walls should be placed to the rear or sides of lots abutting open areas or focal points in the subdivision. Any other decorative material accent -- or plain block with a finished treatment -- stone or brick veneer, should be used on portions of walls exposed to open areas. Space any pilasters at a minimum of one hundred (100) feet apart and finish with a different material than wall infill.
- Consider use of open fencing such as steel pipe tubular fencing as an alternative to masonry walls.
- In the case of projects that exhibit a rural/agrarian theme, picket fences and rural landscape plantings such as citrus trees, pecans or other native species would be appropriate.
- Provide mature densely-planted landscaping, 36" box in size or greater, at main entrance(s) and other focal points within the subdivision.

Native species planted to define rural theme.



Open fencing for agrarian rural theme.



- Landscaping at main entrances should make a distinctive statement about the community and provide the resident with a sense of arrival.
- Integrate entry monument signs into the design of the perimeter wall through the use of materials, colors, texture and form. When walls are not used, highlight the character of the development by displaying artifacts appropriate to the development theme to act as focal points.



Landscaping at entrances should provide residents with a sense of arrival.



Monument sign integration with the perimeter wall.

- Monumentation design, landscape bufferzone, perimeter wall design and open space program for any residential subdivision shall be reviewed by the Design Review Board prior to Council's approval of the preliminary plat.

4. EASEMENTS AND SETBACKS

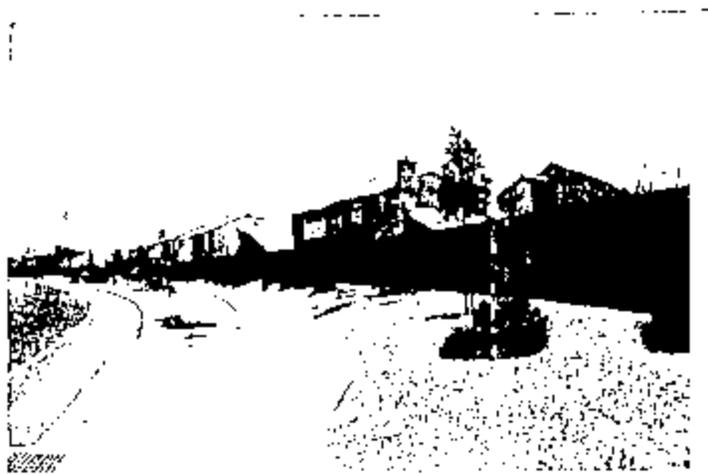
These guidelines address the appropriate dimensions required on the site plan to implement the desired separation between houses and the right-of-way to avoid visual encroachment, provide useable space between dwellings, and maximize separation for privacy

- Provide a minimum twenty (20) foot wide landscaped tract along all arterial streets, between the right-of-way and the lots' property line in all residential neighborhoods.
- Provide a minimum ten (10) foot wide landscaped tract along collector streets, and on the side of lots siding onto local streets between the public right-of-way and the lot's property line in all residential neighborhoods.
- Provide a minimum fifteen (15) foot wide, maintained landscaped tract on both sides of the main entrance drive(s) to the subdivision between the right-of-way and the property line.
- Provide a minimum twenty (20) foot wide landscape tract along the subdivision boundary adjacent to the SRP, SPRR right-of-way and/or RWCD canal. Said tracts shall be planted with fifteen (15) gallon trees at thirty (30) feet on

center and will include a durable pedestrian path (such as, concrete or asphalt) at least 8' wide

- For Medium Density subdivisions, front yard setbacks shall be staggered, such that no more than two (2) adjacent lots the same setback. Front yard setbacks should vary within a range between 20 feet and 25 feet, with a minimum three (3) foot variation between any adjacent lot. No front yard setback shall be less than 20 feet from the property line.

A minimum of 10 foot wide landscaped tract along collectors roads.



A minimum of 20 foot wide landscaped tract along all arterial streets.



- For R1-5 through R1-8 zoning districts, provide a minimum of thirty-five (35') feet for two-story and twenty-five (25) feet for single story as rear yard setbacks for all lots backing onto an arterial street or adjacent to commercial/industrial property. All residential districts shall provide a minimum of fifteen (15) foot sideyard setback, exclusive of landscape easements or tracts, where lots side onto an arterial street, commercial or industrial site
- Provide non-vehicular access (1') and fence easements as required by the layout of the subdivision.
- All side yards are subject to the clear space requirements of Ordinance 803.

5. BUILDING DESIGN AND ARCHITECTURAL CHARACTER

This section addresses the most common issues involved in defining the character of the dwellings proposed in the subdivisions to build distinctive communities

- All standard plans proposed for R1-15 zoning districts and smaller shall require review by the Design Review Board. The applicant shall submit: four (4) side elevation drawings for each standard plan, a color board addressing color, materials and finish schemes proposed for the roof, walls, and any other architectural detail. Design Review Board review and approval is required prior to the submittal of construction documents to the Community Development Department.



Use of architectural forms such as porches, double hung windows and....

- Elevations to be submitted for review to the Design Review Board shall include articulation of the front elevation as well as the rear and sides on the two story houses.

- Single story houses shall achieve articulation by means of details, architectural forms, fenestration treatment, etc. All elevations facing public view on the single story houses shall be architecturally treated
- Encourage the use of architectural forms, proportions, materials, colors and other features that recall the historic or rural context of Gilbert. For example, wood porches, trellises, brick or stone veneer, picket fences, awnings on patios, double-hung windows, weather vanes, cupolas, etc.

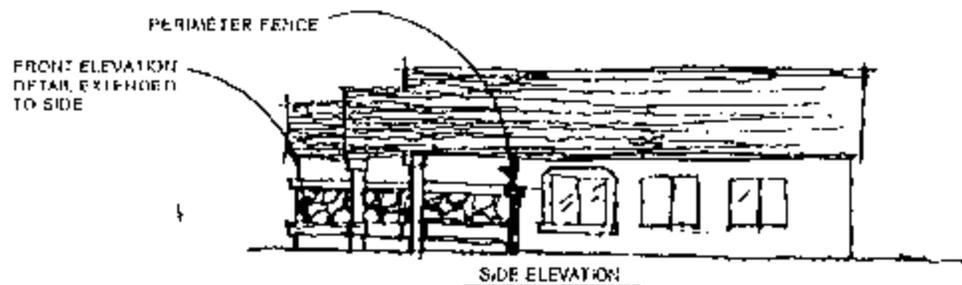


.....casings that recall the historic or rural context of Gilbert



Contemporary house with a rural appearance.

- Treat any house elevations that front, side or back up to a public street or open space with interesting and diverse architectural accents and style elements.
- Do not stop any architectural details on the front elevation. Extend it to the sides to meet the perimeter wall or any architectural projection.



- Emphasize front entryways, not garage doors, by:
 - Varying garage door designs on each elevation.
 - Encouraging the use of side-entrance garages with 25% of front facing wall area architecturally treated.

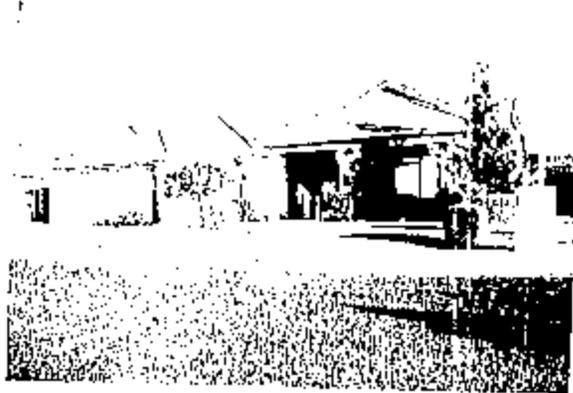


- Angling the garages and placing it further back on the lot.
- Recessing garage doors 12 to 18 inches, to create a shadow so they are less obvious
- Limiting the area of the front elevation used as a garage to 40% of the front elevation plane. Recessing 3rd car garage plane and providing architectural details around garage openings.
- Considering the use of alleys when designing subdivisions to access garages from the rear
- Enhancing the driveways by using colored or stamped surfaces or textured paving to create a sense of arrival.



Recessed third car garage door to make it less obvious.

Mouldings around garage openings to create shadows and upgrade appearance.



- Using an alternative to driveway enhancement, consider the use of pavement strips or vegetative ground covers to emphasize the front yard landscape
- Considering attached/detached garages to the rear of the housing units.



Detached garage to the rear of the housing unit.

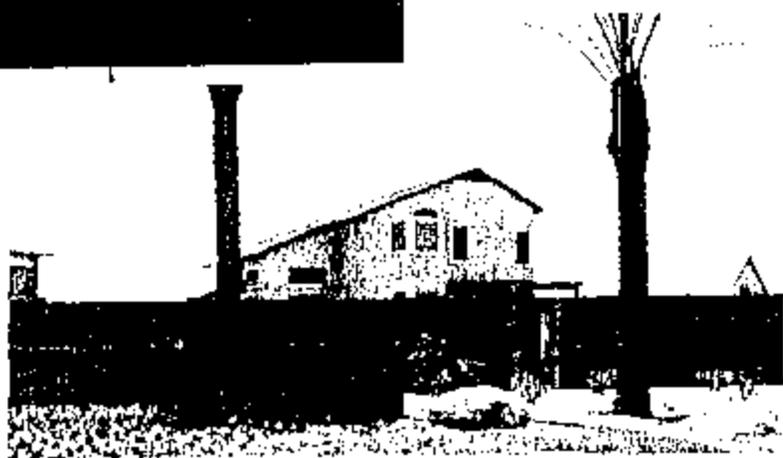
- No similar front or rear building elevation massing when visible from public view, or architectural details and rooflines are allowed on adjacent lots or across from one another. Elevations that merely change minor architectural features shall be considered similar.
- Consider providing all front doors with one or more of the following usable entry transition elements attached or otherwise integrated: covered porches, arbors, pergola; low-walled, shaded front patio areas and courtyards.
- All entryways shall be well lit and shall be visible from the street.



House with integrated covered porch.



Scaled front patio area.



Treatment of rear elevation windows on a two story house backing onto a public street.

- Create interest in building elevations by: stepping building massing horizontally and vertically, recessing windows, providing popouts around all two-story windows on houses adjacent to a street or open space, varying roof profiles, materials, distinctive colors between adjacent houses and not merely tones of the same color.
- Provide architectural treatment (i.e.: popouts around all front windows and on the rear and side windows of two-story houses as specified above, simulated vents under the eaves etc.) and variation in roof line on houses which back up onto arterial streets and open spaces visible from public roads.
- Roof-mounted mechanical equipment is prohibited. Screen ground-mounted mechanical equipment from public view by a minimum four (4) foot high screen wall.

GLOSSARY OF TERMS

Arterial Street: A busy main street with high volumes of traffic and high speeds, usually with limited or no street side parking.

Bicycle Path: defined routes designed and designated for bicycle use only.

Buffer: a form of visual, audible, or land use separation through the use of structures (such as walls) or landscape materials.

Buffer Effect: the absorption of or deadening effect on audible or visual intrusions. Or, an effect that causes pedestrians to shy away from the curb, building walls, window shoppers, and street furniture, which must be accounted for in the design width of a walkway.

Chicane: a traffic calming technique when physical obstacles or barriers are placed in the street which require drivers to slow down and drive around them.

Community: a town, city, or tribe where a group of people live together under the same laws.

Cupola: a dome roof or ceiling.

Design Guideline: a standard or principle by which to make a judgment in elements of form, color, texture, material, rhythm or pattern.

Density: the quantity or number of dwelling units or separate structures per unit (usually an acre).

Destination: the location to where a person or a transportation mean is going.

District: the medium-to large sections of a community, conceived of as having a two dimensional extent, which the observer mentally enters "inside", and which are recognizable as having some common, identifying character.

Human Scale: a scale of surroundings that is proportional to the human comfort level.

Linkage: a walkway connection, usually between two activity generators.

Neighborhood: a social unit defined by its inhabitants. It may be a part of a community or district.

One Footcandle Lighting Level: assumed sufficient for public spaces, it is equal to the amount of direct light thrown by one international candle on a surface one foot away.

Pedestrian: a person walking, jogging, or otherwise journeying on foot (including persons in wheelchairs or other assistive devices).

Pedestrian Area: a location used by persons afoot, inclusive of the walkway, the roadway, and the adjacent surroundings or users.

Policy: any governing principle, plan, or course of action.

Traffic Calming: methods used to slow traffic which in turn reduce speed, accidents, noise, pollution, and congestion.

View Corridor: the surrounding area which can be viewed from a single viewpoint, usually in a linear form with a view terminus.

Walkway: the pedestrian path itself, defined or undefined by materials or barriers. The walkway is a channel in the pedestrian area along which pedestrians move.

APPENDIX G

MEDIUM HIGH DENSITY FRAMEWORK GUIDELINES

(Ord. No. 1293, 07-25-00)

The Town of Gilbert

Medium High Density Framework Guidelines

Mayor
Cynthia L. Dunham

Vice Mayor
Maggie Cathey

Council
Mike Evans

Steve Urie

Dave Crozier

Les Presmyk

Larry Morrison

Planning and Zoning Commission

Linda Edwards, Chairman
Stan Stroni, Vice Chairman
James Beene
Dan Dodge
Karl Kotlhoff
Joan Krueger
Susan Preis

The Planning Department

Medium High Framework Committee

Phil Long, Councilman
Mike Evans, Councilman
Les Presmyk, Commissioner
Dan Dodge, Commissioner
Jan Gilbert, Design Review Boardmember
Price Nosky
Don Tompkins
Terry Galloway, AICP
Martene Macrowitz
Reed Porter
Scott Morrison
Howard Morrison

INTRODUCTION

These Guidelines should be used by applicants, architects, planners and developers of property within the Town of Gilbert to assist them in obtaining approved plans for development in Medium High Density Residential developments. They will also be used by the planning staff, Boards, Commissions and Town Council to evaluate Medium High density developments in a fair and consistent manner. The Guidelines do not in any way modify the General Plan of the Town of Gilbert, or any applicable zoning ordinance or requirements.

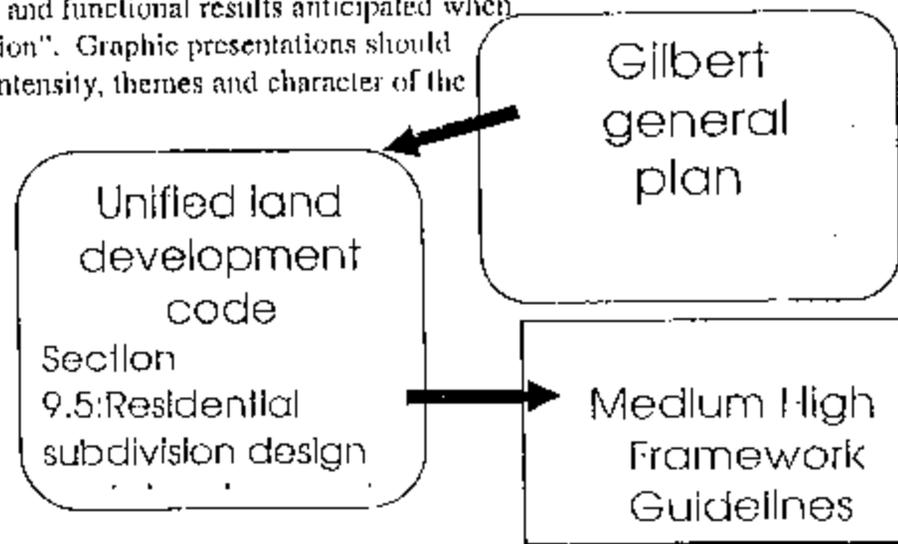
HOW TO USE THIS DOCUMENT: The General Plan is quoted throughout the Guidelines to set the basis for guiding Medium High density development (MH: 4-8 du/acre, target density = 6 du/acre). The vision for each element, Open Space, Diversity through Community Character and Circulation, is stated at the beginning of each section. Next, is a box that will include references to the existing Subdivision Design Guidelines that will provide further direction. Then there are concepts provided in bold that may be illustrated with photos or diagrams that are examples of how the Medium High density vision may be implemented. These Guidelines are designed to reward innovative design solutions. Therefore, the last section, Incentives for Innovation, gives examples of what are some of the incentives that may be granted, if there is a direct connection to the design solution.

A. PROJECT DESCRIPTION

Development applications shall include a Project Description that explains the proposed development's goals in relation to the goals of the Medium High Density Residential Framework Guidelines. A written description must clearly explain the overall theme and character of the proposed community and how its open space, circulation, diversity elements and project's character reinforces the overall theme. The Project Description shall describe the target population and eventual residents of the project. The community character description should also include a discussion of the social and functional results anticipated when the plan is implemented and any requested "Incentives for Innovation". Graphic presentations should be presented which support the description and communicate the intensity, themes and character of the community.

The Gilbert General Plan sez:

Agree on project design standards prior to granting land use allocations, to aid in the beautification and improvement of living conditions in the community



D. COMMUNITY CHARACTER THROUGH DIVERSITY

There should be a diversity of housing types and commercial uses within Medium High Density Residential areas. A mix of housing units may have the positive social effect of fostering a diverse population and the return of extended families to neighborhoods. Medium High Density developments may use architectural forms, proportions, materials, colors and other features to recall the historic or rural context of Gilbert. However, all development must be designed to address the context of its surroundings and market area.

For new Medium High Density developments, the Guidelines promote:

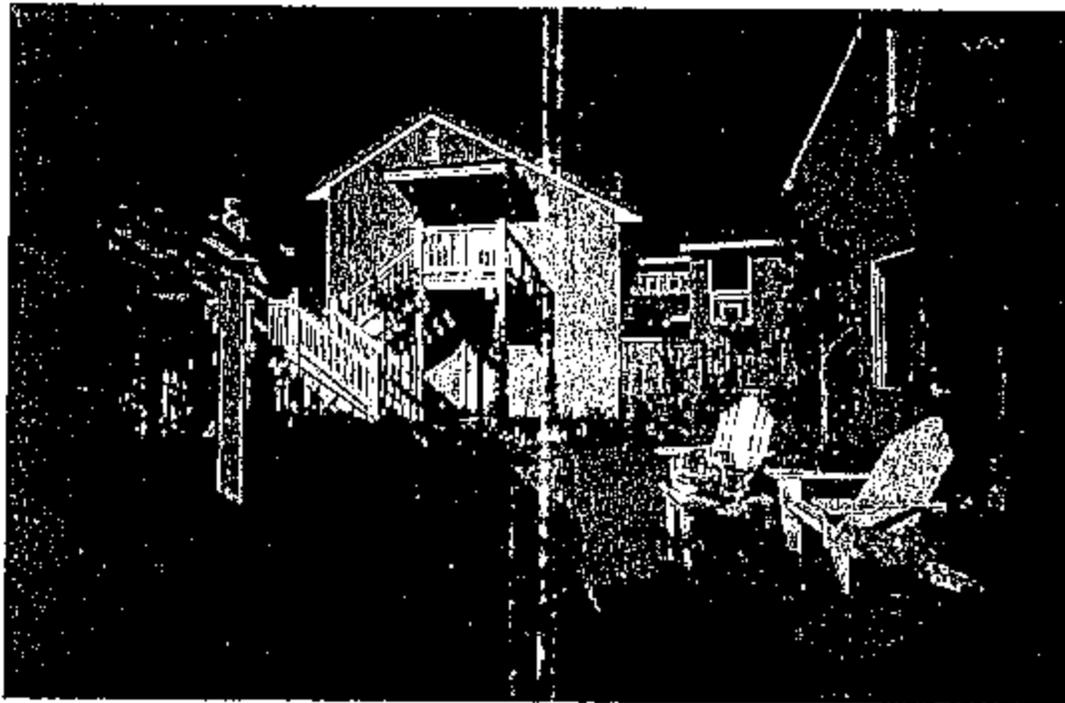
- The inclusion of convenient retail, cultural and public uses developed at an appropriate scale within a village center;
- Encourage developments which maintain land use compatibility, thereby reducing the need for physical buffers;
- The inclusion of several residential types in neighborhoods that respond to the market;
- A variety of lot widths and building setbacks within every lot size;
- Diversity of housing types and sizes on the same street;
- Discourage a singular approach to treating the garage of single-family homes;
- A variety of architectural vernaculars within alternate elevation designs;
- Articulation of the front elevation of houses as well as the rear elevations facing the back yard.
- Design of housing products that utilize energy efficient and design.

Implementation Standards:

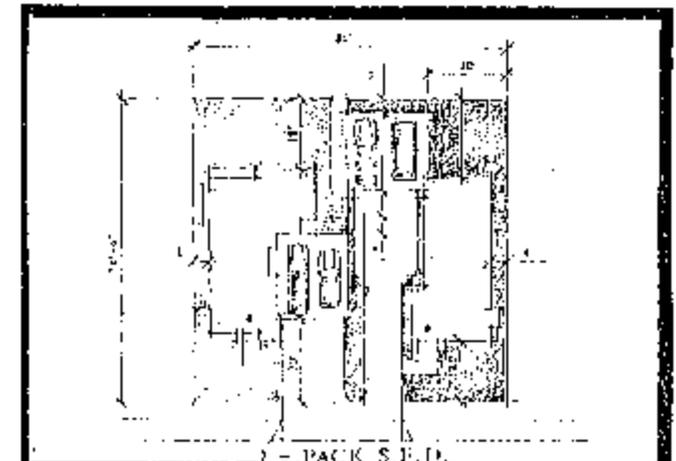
Reference the requirements found in Section 9.53, Lot and Street Design Guidelines; Section 9.55, Community Character Guidelines and Section 9.57, Building Design and Architectural Character Guidelines of the Town of Gilbert Unified Land Development Code.

The Gilbert General Plan sez:

Encourage the development of a range of housing types and densities based upon orderly development patterns. Housing types can include single family, patio, townhouse and multi-family type units. Design Community, General and Regional Commercial facilities to address neighborhood, community and regional retail service needs respectively.



1. Discourage a singular approach to treating garages.



The Gilbert General Plan says:

Promote well designed development which reflects Gilbert's character and differentiates it from surrounding communities.

Establish an image for each district within the community (i.e., downtown, industrial/business park, residential).

Require the use of comprehensive design principles to maintain a standard of excellence.

Promote the appearance and design of Convenience Commercial facilities to portray a scale appropriate to adjoining areas, emphasizing the individuality of shops or offices.

15. COMMUNITY CHARACTER THROUGH DIVERSITY continued

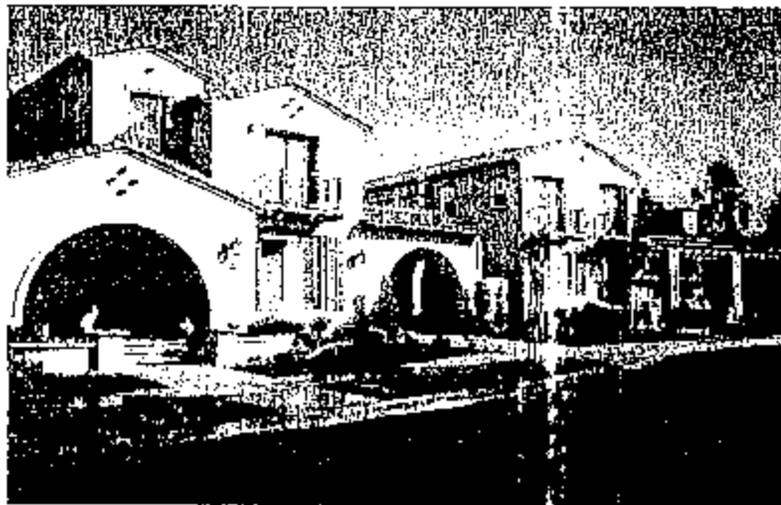
2. The articulation of houses shall address the front as well as the back of the product proposed.



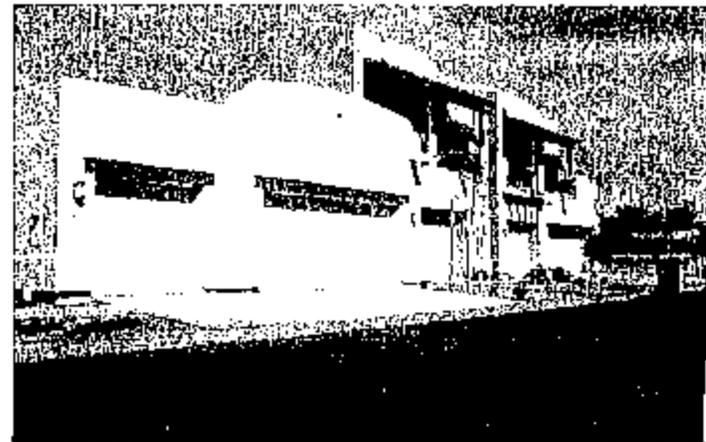
FRONT OR STREET ELEVATION



REAR VIEW (Articulation of Rear Elevations)

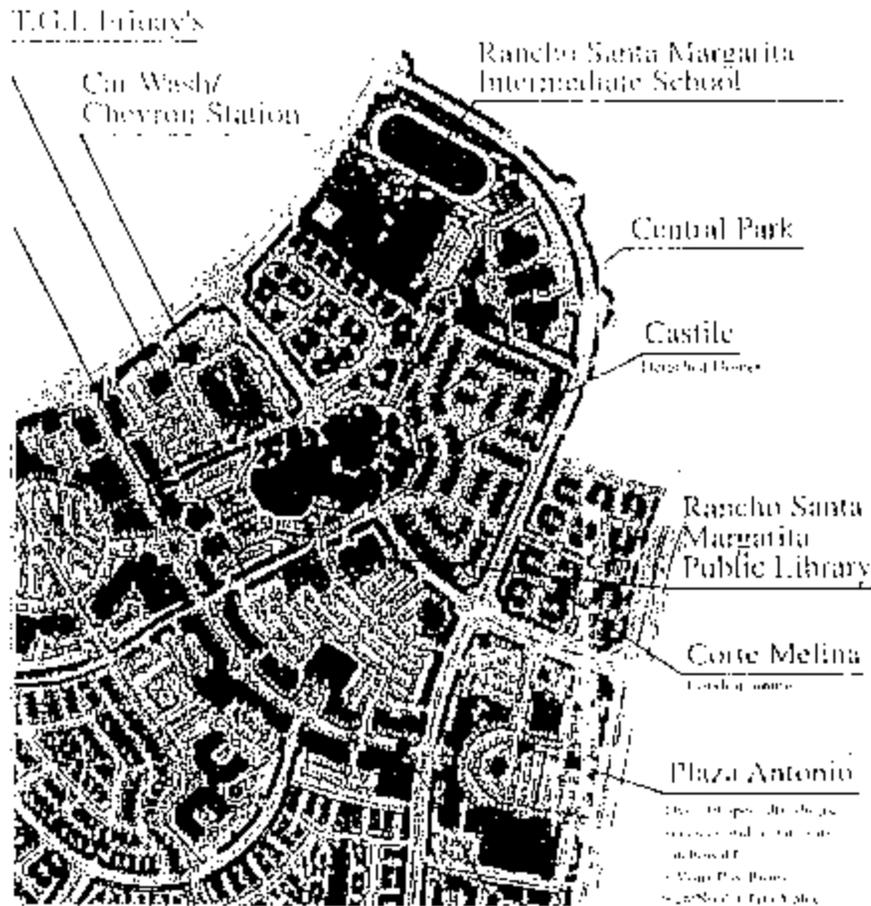


3. Housing products shall provide a variety of architectural vernaculars within alternate elevation designs.

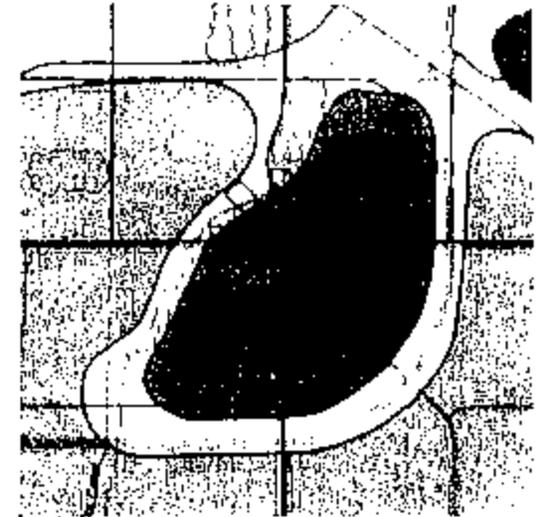


13. COMMUNITY CHARACTER THROUGH DIVERSITY continued

4. Other housing options within the Medium High Density may include rental apartments, attached and detached condominiums and fee simple town houses.
5. Retail, commercial services and public uses may be grouped to serve neighborhoods and be accessible to pedestrians. The scale of architecture and the size of the neighborhood centers should match the proposed market area and character of the adjacent neighborhood.



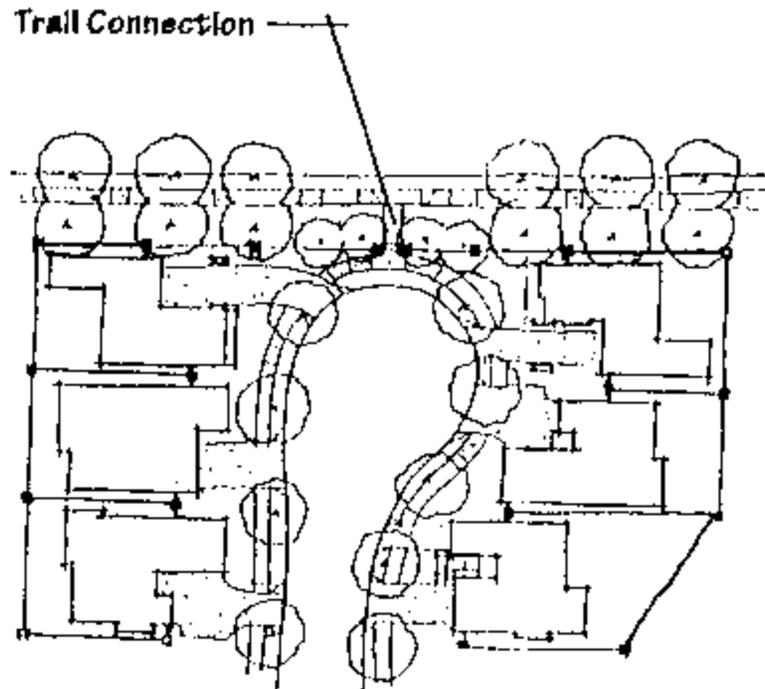
Possible locations of Village Centers are shown in Section A.4 of the Gilbert General Plan. The Santa Margarita Town Center in California includes schools, retail, residential and a central park.



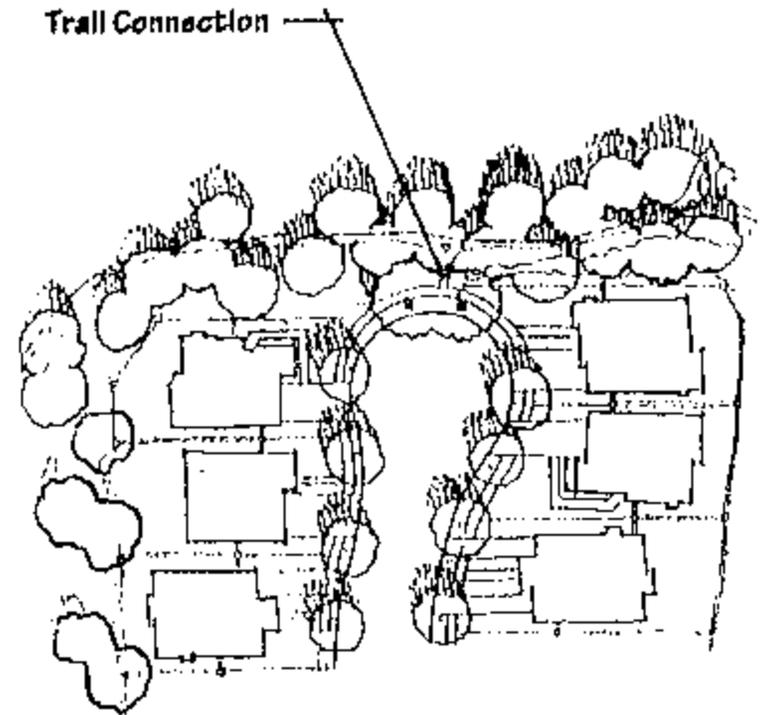
The Gilbert General Plan sets Design Community, General and Regional Commercial facilities to address neighborhood, community and regional retail service needs respectively. Promote with an emphasis on pleasant pedestrian experiences, interesting building elevations with varying setbacks, use of shade devices, landscape, sculpture, and public seating. Discourage large massing, singular roof structures, repetitive architectural features, long horizontal elements, and typical "L" shaped shopping center designs.

2. CIRCULATION continued

3. Opaque screen walls on both sides of a collector street shall be broken up.
4. If cul-de-sacs are designed in a way that end up adjacent to a street or an open space element, they shall allow for continuous pedestrian movement to connect the proposed project with adjacent uses and trails in a safe manner.



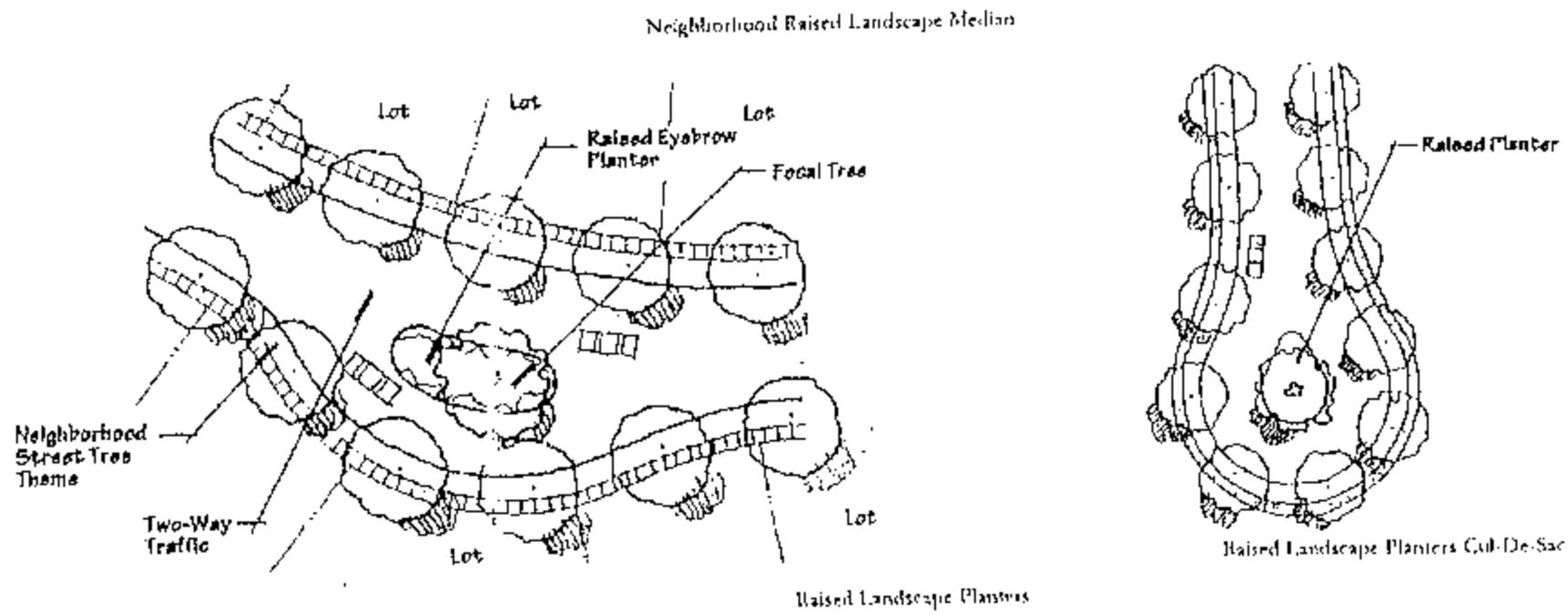
Trail Connections to Street



Trail Connections to Spine

C. CIRCULATION continued.

5. Local street designs shall feature some of the same traffic calming devices described in Section 9.53.B.1-4 of the U.L.D.C.



The Gilbert General Plan sez:

Plan for streets that serve the characteristics of each neighborhood with consideration given to the manner in which streets enhance appearance, safety and function.

Design collector streets to carry local traffic.

Discourage through traffic in neighborhoods between community arterials.

OPEN SPACE

The design and use of open space shall be the armature of the development of any Medium High Density Residential areas. Open space must:

- Be functional;
- Be evaluated qualitatively, not quantitatively but ~~in no case less than 18% of the total area of the project~~ *A-8 dv/acre*
- The Design of the open space should allow for 5% (target) of the gross acreage to be shaped for play/active areas;
- Provide passive and active areas to encourage social interaction;
- Cluster home projects should be designed to surround the open space common area. Said space should be visible, accessible, and useable to the community of residents.
- Be designed to incorporate visual and/or physical connections between open space areas;
- Act as a center of community identity and pride; and
- Provide a linkage to employment areas or Village Centers, but not at the cost of meeting the above objectives.

Implementation Standards:

Reference the requirements found in Section 9.54, Open Space and Landscaping Design, of the Town of Gilbert Unified Land Development Code.

1. A combination of open space and amenities shall exceed requirements in Section 9.54 and shall provide benefits to the project's population as well as the larger community.



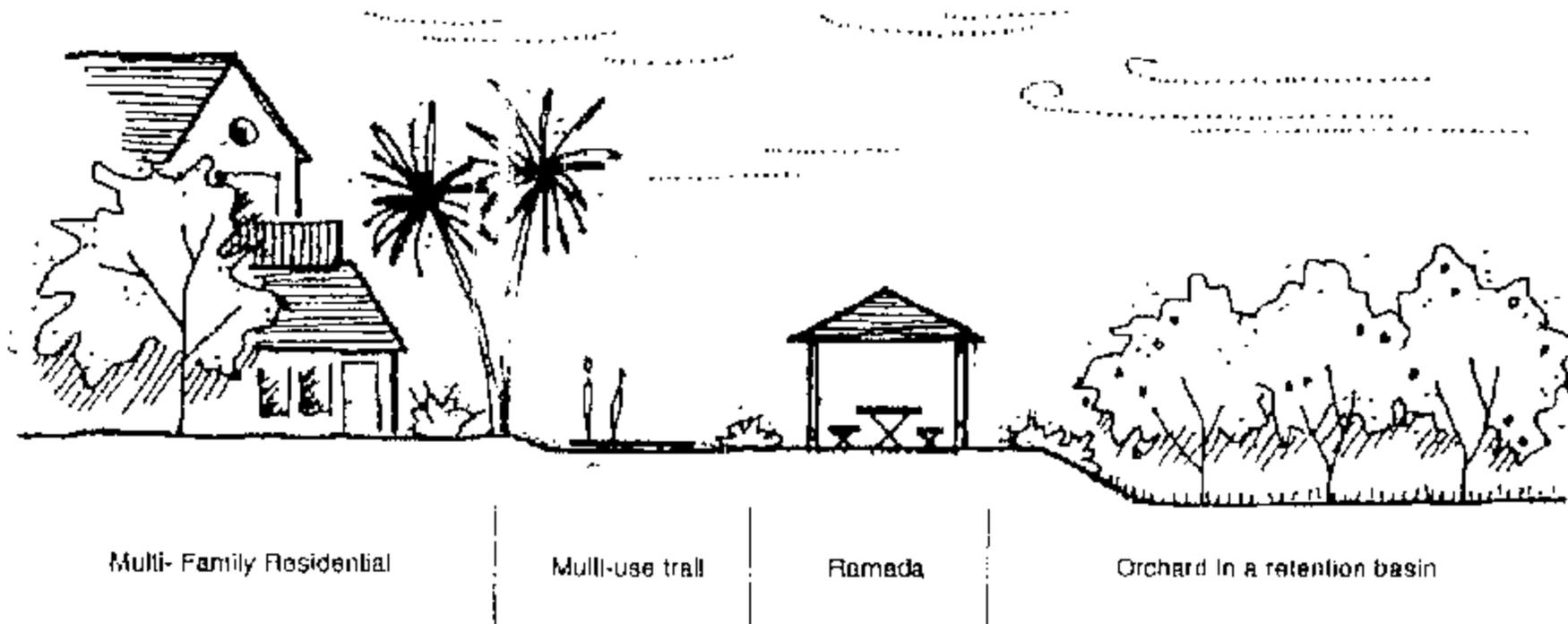
The Gilbert General Plan says:
Design neighborhoods as safe and friendly environments which encourage informal interaction through the provision of pedestrian and equestrian scaled amenities, including pathways, parks, and other common facilities.

Link residential areas to schools, parks, commercial services and other neighborhoods with landscaped pedestrian walkways and bikeways.

Plan for adequate open space in the form of mini-parks, neighborhood parks, community parks and school sites that are

OPEN SPACE continued

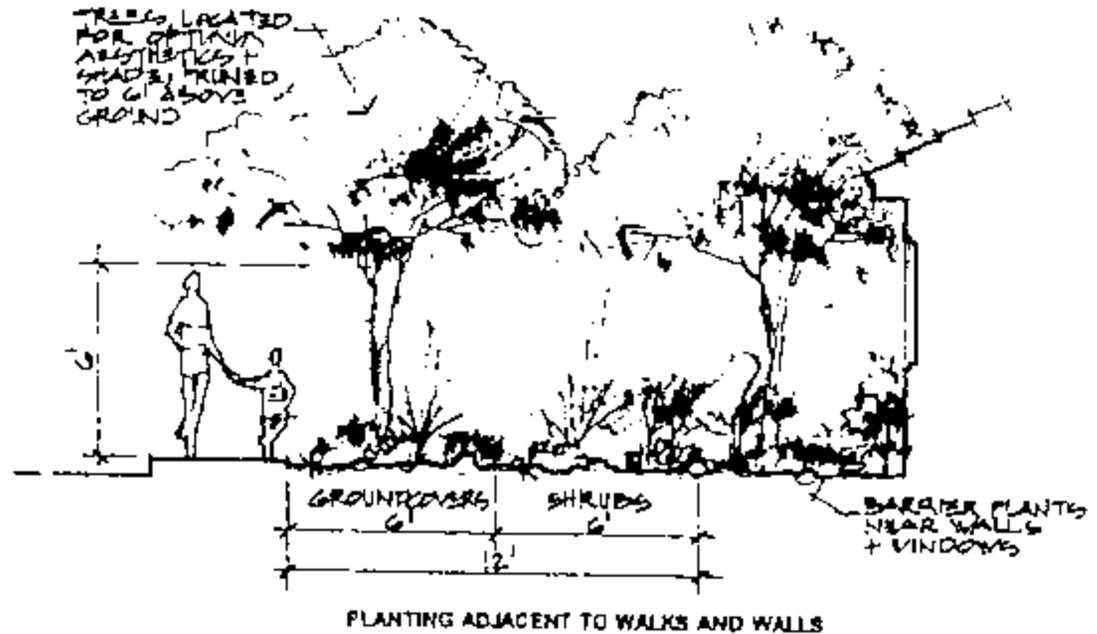
- Open space shall be centered to create a centrally located public space and links to neighborhoods, commercial centers, village centers and work. It shall not be less than 18% of the gross acreage.



- The project shall exhibit creativity in the reduction of impervious surfaces and glare through creative site planning and the use of upgraded paving materials such as pavers, exposed aggregate and colored concrete. Said materials should be used to create character and identity for the project and should be used as a minimum at the entrance to the project and at areas that constitute focal points. Design of shade structures in common areas shall take in consideration sun incidence and prevailing winds, and shall be situated in a manner to support the landscape design to achieve the desired effects.

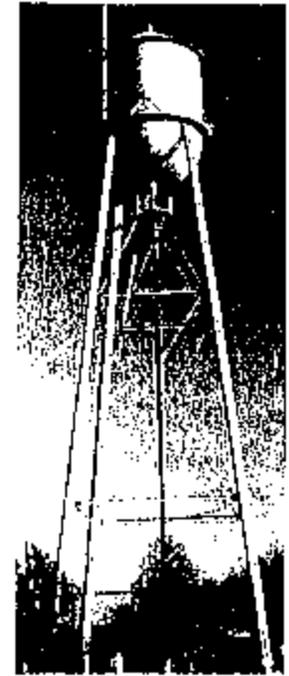
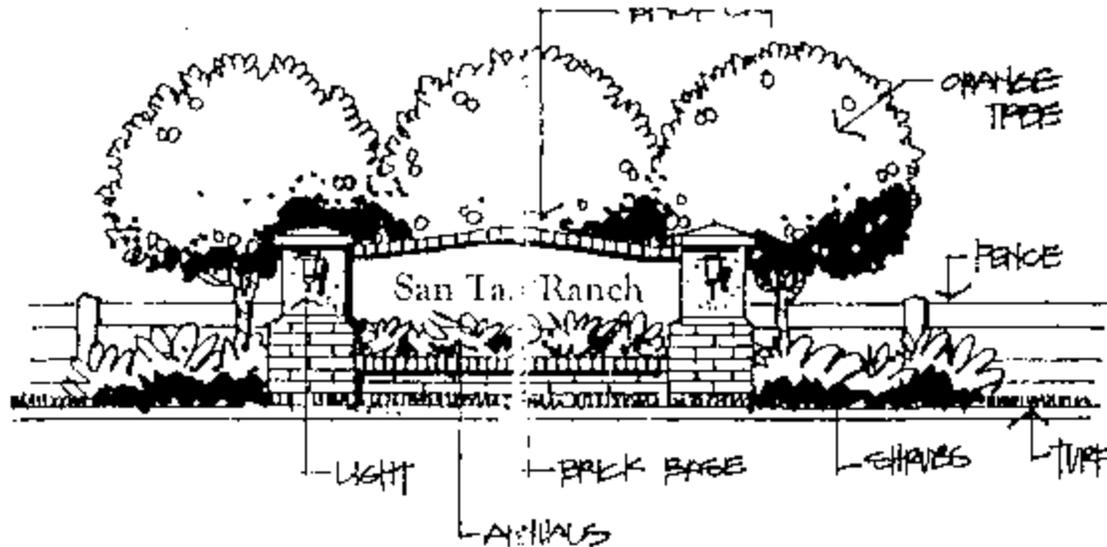
OPEN SPACE continued

4. Open space areas shall be safe and secure through the use of Crime Prevention Through Environmental Design (CPTED) site planning techniques and appropriate lighting. (See Appendix)



5. Formal and informal planting patterns shall be used to accentuate the planned use of the area. An example may be: trees in soldier course in buffer areas; rows for collector streets and public spaces; and natural patterns for and active and passive recreation areas.

6. Open space plan for Medium High projects shall include a well planned identity and signage program to carry on the theme of the Medium High density neighborhoods. Signage shall provide directional information to community services or educational opportunities about the Town's culture, history or indigenous landscape (i.e.: farming practices, names of plant materials and their uses).



The Gilbert General Plan sez:

Develop cultural opportunities for residents of all ages.
Preserve sites and buildings of local cultural significance and develop new sites for cultural activities.
Encourage the provision of art in public places and enhance cultural development within the community.

INCENTIVES FOR INNOVATION

The following is a partial list of possible incentives for the design of superior and innovative living environments. Other incentives may be considered. There must be a rational nexus, or relationship between the incentive requested and a specific aspect of the project that meets the intent of the "Performance Measures" stated.

POSSIBLE INCENTIVES

- Allow an overall density above the General Plan target density.
- Allow narrower streets, sidewalks on one side of street.
- Modify setbacks or coverage requirements.
- Dedication of open space for Town maintenance.
- Reduce total amount of open space requirement if other amenities such as swimming pools, club houses, community centers, fitness centers, etc. are provided.
- Allow Medium High densities in other land use categories if site is considered an "infill" parcel as defined in the R-CH zoning district.
- Project meets the majority of the Guidelines.
- A large tract is centrally located and developed as a community park.
- Use of the Crime Prevention Through Environmental Design (CPTED) principles of creating visible and safe outdoor spaces.
- Mixed-use buildings, such as homes above storefronts, and public areas are provided to reduce reliance on the automobile.
- Use of treated effluent to irrigate landscaping.
- Retain agricultural uses.
- Creation of livable communities.

DESIRED INNOVATIONS AND OUTCOMES

GOT A
MINUTE?
YOU COULD STOP
A CRIME



LANDSCAPING WALLS AND SCREENING

HELP TAKE A BITE OUT OF CRIME!

1. The positioning or location of plant material, walls and other landscape elements shall allow for natural surveillance of the outdoor space. Security is enhanced when entrances to buildings or open space around buildings are unobstructed from views into the site from neighboring or adjacent sites. The more open a view is (from other buildings and passersby), the less likely are potential criminals to use the space for carrying out a crime.
2. Backyards surrounded by 6' high walls (or fences) will deter intruders. Security will be increased with the use of barrier planting (thorned plants) around the outside of the wall and also by the addition of night lighting along the wall.
3. When walls exceeding 5' in height are used in the front of buildings to create entry courtyards, the entrance shall be well lit. As a deterrent to someone climbing over a wall, the walls may have decorative wrought iron set in vertical pickets as an integral design of the wall.
4. Buildings with a heavy cover of plants are often times more victimized than those with less cover. Barrier plants should be planted below and at the sides of windows thus eliminating the use of turf and low groundcovers in these areas. All plant material shall be trimmed at a maximum height of sill level.
5. When a backyard is fenced, there should not be unrestricted access. Restriction shall be a full height gate capable of being locked. The entrance shall be well lit and visible for surveillance from neighboring sites.
6. Front yards or public spaces shall be free of hidden corners caused by walls or plantings (especially near walkways). The supply of adequate night lighting will lessen the probability of intruders using these areas for hiding. (See lighting section 3-2 for standards).
7. Open space and buildings should be arranged to afford visibility and opportunities for surveillance by users and passers-by.
8. Barriers, both real and symbolic, should be designed to afford opportunities for surveillance through the barrier.
9. Landscaping and Light standards shall be so designed as not to conflict with minimum standards. Consideration shall be given to the plant material being at its mature size. Building and ground shall be maintained to retain security integrity.

GOT A
MINUTE?
YOU COULD STOP
A CRIME



LIGHTING

Lighting in multiple family dwellings and commercial buildings shall be as follows:

1. Aisles, passageways, and recesses related to and within the building complex shall be illuminated with an intensity of at least one footcandle minimum maintained at the ground level and at 7 feet vertical between sunset and sunrise. Lighting devices shall be protected by weather and vandal resistant covers.
2. Open parking lots and carports shall be provided with a minimum maintained of one (1) footcandle of light on the parking surface between sunset and sunrise. Lighting devices shall be protected by weather and vandal resistant covers.
3. All exterior entrances between the hours of sunset and sunrise shall be illuminated with a minimum maintained level of 5 footcandles at ground level and 7 feet vertical, with a radius of no less than 15 feet from the center point of the entrance.
4. Closed and covered parking structures between the hours of sunset and sunrise, shall be illuminated with a minimum maintained level of 5 footcandles at ground level and at 7 feet vertical; during daylight: 10 footcandles.
5. Green belt and residential park areas shall be illuminated to a minimum maintained level of 0.4 footcandles at ground level and at 7 feet vertical between sunset and sunrise. This standard applies to pathway intended for human travel as well as accessory use, i.e. phone booths, trash enclosures, park benches and picnic areas.
6. Landscaping and lighting standards shall be so designed as not to conflict with minimum standards of this document. Consideration shall be given to the plant material being at its mature size.
7. This section is not intended to interfere with wilderness or camping areas.

HELP TAKE A BITE OUT OF CRIME!

CODE COMPARATIVE TABLE

ORDINANCES

This table gives the location within this Code of those ordinances which are included herein since June 29, 1997.

Ordinance Number	Date	Section	Section this Code
1051	7-26-97	I	Rpid 1.31 A. 15, f.
			Added 1.31 A. 15, f.
			Added 1.32 A. 13
			Added 1.33 A. 9.
			Added 1.39 A. 6.
			Added 1.57 A. 17.
			Added 1.58 A. 3.
			1.7
			Added 2.32 C.
			Added 7.42 D. 4
			9.52 C.
			Rabd 8.1—8.5
			as 9.1—9.5
			Rabd 9.1- 9.3
			as 10.1—10.3
			Rabd 10.1—10.3
			as 11.1—11.3
			Rabd 11.1—11.5
			as 12.1—12.5
			Rabd 12.1—12.3
			as 13.1—13.3
			Rabd 13.1—13.3
			as 14.1—14.3
			Rabd 14.1, 14.2
			as 15.1, 15.2
			Rabd 15.1—15.3
			as 16.1—16.3
Glossary			
1059	9-15-97	I	Added 8.11 E.
			Rabd 8.43 B.—D.
			as 8.42 C.—E.
			Added 8.42 E.
1064	10-14-97	I	Added 8.11 C.
			Added 8.22
			Added 8.32
			8.32 C., D.
			8.45 D., E.
			Added 8.42 F.
			Rabd 8.43 B.
			as 8.43 E.
			8.43 A.
			Added 8.43 B., D.

CODE COMPARATIVE TABLE

Ordinance Number	Date	Section	Section this Code
			8.81
			Added 8.82, 8.83
			Repealed 8.84—8.85 as
			8.84—8.87
			Added 1.58 A.1j
1171	5-11-99	7	Added 1-39A
1189	7-20-99	1	7.14
1190	7-20-99	1	Glossary
1227	11-16-99	1	1.42E.4.a
			1.7
			Glossary